

Dated the                      day of                      20

**CHANNEL FIRST LIMITED**

and

and

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**SUB-DEED OF MUTUAL COVENANT**

**OF**

**TAI PO TOWN LOT NO. 244  
(PHASE 2B OF [●])**

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**MAYER | BROWN**  
**好士打**

JCWW/ALYY/AFK/21678538



**"Common Areas and Facilities within Phase 2B"**

means collectively the Development Common Areas and Facilities within Phase 2B, the Residential Common Areas and Facilities within Phase 2B, and all those parts and such of the facilities of Phase 2B designated as common areas and facilities in any Sub-Sub-Deed(s);

**"Development Common Areas and Facilities within Phase 2B"**

means and includes,

- (a) in so far as they are within Phase 2B:-
  - (i) other parts of Phase 2B which are intended for common use and benefit of the Development including but not limited to the external walls (excluding the external walls forming parts of the Residential Common Areas and Facilities within Phase 2B), passages, entrances, stairways, landings, lift, lift lobbies, acoustic window (baffle type) (which are for the purpose of identification only shown and marked "ACOUSTIC WINDOW (BAFFLE TYPE)" on the Sub-Deed Plans), platforms, lobbies, service areas, refuse room, wires, cables and other facilities whether ducted or otherwise which are or at any time may be in under or over or passing through the Land through which fresh or salt water, sewage, gas, telephone, electricity and other services are supplied to the Development, trees, shrubs and other plants and vegetation, lamp posts and other lighting facilities, fire prevention and fighting equipment and apparatus, security systems and apparatus, ventilation system and any other mechanical systems, devices or facilities installed or provided in the Development intended for common use and benefit of the Development;
  - (ii) to the extent not specifically provided in sub-paragraph (i) above, such other parts of Phase 2B :-
    - (A) covered by paragraph (a) of the definition of "common parts" set out in section 2 of the Building Management Ordinance; and/or
    - (B) fall within the categories as specified in Schedule 1 to the Building Management Ordinance and included under paragraph (b) of the definition of "common parts" set out in section 2 of the Building Management Ordinance;

which are (insofar as they are capable of being identified and shown on plans) for the purposes of identification only shown coloured Green on the Sub-Deed Plans; and

- (b) such other areas, apparatus, devices, systems and facilities of and in Phase 2B as may from time to time be designated as the Development Common Areas and Facilities within Phase 2B in accordance with this Sub-Deed or any Sub-Sub-Deed(s)

but excluding:-

- (i) the Residential Common Areas and Facilities within Phase 2B; and
- (ii) such areas within the Development the exclusive right and privilege to hold, use, occupy and enjoy which belongs to any particular Owner and such facilities within the Development serving only any particular Owner.

**"Government Accommodation within Phase 2B"**

means in so far as it is within Phase 2B, portion of the Government Accommodation (RCHE), which is for identification purpose shown coloured Orange on the Sub-Deed Plans;

**"Greenery Areas within Phase 2B"**

means the Greenery Areas which are located within Phase 2B which are for identification

purpose shown coloured Green Crossed Hatched Black for the greenery areas on the Sub-Deed Plans and/or the plan(s) annexed to any Sub-Sub-Deed(s);

**"Kitchen Wall within Phase 2B"**

means the full height wall having an fire resistance rating of not less than -/30/30 (if any) adjacent to the open kitchen which is respectively shown and marked "FRR FULL HEIGHT WALL" on the Sub-Deed Plans;

**"Noise Mitigation Measures within Phase 2B"**

means the noise mitigation measures forming part of the Development Common Areas and Facilities within Phase 2B, the Residential Common Areas and Facilities within Phase 2B and the Residential Units within Phase 2B as respectively set out in the Second Schedule hereto;

**"Non-enclosed Areas within Phase 2B"**

means collectively:-

- (a) the balconies of the Residential Units within Phase 2B which are for the purposes of identification only shown Hatched Black on the Sub-Deed Plans and the covered areas underneath the said balconies; and
- (b) the utility platforms of the Residential Units within Phase 2B which are for the purposes of identification only shown Stippled Black on the Sub-Deed Plans and the covered areas underneath the said utility platforms;

**"Phase 2B"**

means Phase 2B of the Development as demarcated in the Building Plans comprising Scenic Tower 1, Scenic Tower 2, Scenic Tower 3, Scenic Tower 5 and Scenic Tower 6, podium floors, 688 Residential Units, the Government Accommodation within Phase 2B and the Common Areas and Facilities within Phase 2B which are for the purpose of identification shown coloured Pink on the phasing plans of the Sub-Deed Plans;

**"Residential Common Areas and Facilities within Phase 2B"**

means and includes :-

- (a) in so far as they are within Phase 2B:-
  - (i) the Curtain Wall (excluding all windows forming part of the Residential Units), external walls (including non-structural prefabricated external walls which are for the purposes of identification only shown edged by Blue Dotted Line on the Sub-Deed Plans but excluding the external walls forming parts of the Development Common Areas and Facilities within Phase 2B); vertical fin (which are for the purpose of identification only shown and marked "VF" and coloured (I) yellow solid hatched yellow; or (II) yellow solid hatched black, on the Sub-Deed Plans); solid wall (which are for the purpose of identification only shown and coloured yellow hatched black on the Sub-Deed Plans), sound absorptive material (which are for the purpose of identification only shown and coloured yellow hatched zigzag black on the Sub-Deed Plans) acting as noise barrier and surfaces of the Residential Accommodation;
  - (ii) the Greenery Areas within Phase 2B (in so far as the same are within the Residential Common Areas and Facilities within Phase 2B), the acoustic fins, air-conditioning plant rooms (A/C plant room), and such of the passages, common corridors and lift lobbies, entrances, landings, halls, entrance lobbies, structural walls, stairways, air conditioning platforms (excluding the supporting frames and anchors of air conditioning units), A/C plinth, cast-in anchors, communal television and radio aerial systems for reception of television and radio broadcast, telecommunications and broadcasting distribution networks, electrical cabinet, electrical ducts, electrical rooms, electrical meter cabinet, extra low voltage ducts, fireman's lift lobbies, fan

rooms, pipe ducts (P.D.), flushing water tank rooms, water meter cabinet, common flat roofs, roofs and flat roofs not forming parts of Residential Units, meter rooms and meter spaces and roof thereof and such of the lifts, lift shafts, refuse storage and material recovery rooms (RS&MRR), firemen's lifts, lighting, drains, channels, sewers, salt and fresh water intakes and mains, wires, cables, air conditioning and ventilation system and other facilities whether ducted or otherwise through which fresh or salt water, sewage, gas, electricity and other services are supplied to the Residential Accommodation, pumps, tanks, sanitary fittings, electrical installations, fittings, equipment and apparatus, fire prevention and fighting equipment and apparatus, security systems and apparatus, ventilation system, permanent artificial lighting at staircases and the backup automatic activated emergency lighting system; and

- (iii) such other areas, apparatus, devices, systems and facilities of and in the Residential Accommodation intended for the common use and benefit of the Owners, residents or tenants of the Residential Accommodation and their bona fide guests, visitors or invitees,

which are (insofar as they are capable of being shown on plans) for the purposes of identification only shown coloured Yellow on the Sub-Deed Plans,

- (b) such other areas, apparatus, devices, systems and facilities of and in Phase 2B as may from time to time be designated as the Residential Common Areas and Facilities within Phase 2B in accordance with this Sub-Deed or any Sub-Sub-Deed(s)

but excluding:-

- (i) the Development Common Areas and Facilities within Phase 2B; and
- (ii) such areas within the Development in respect of which the exclusive right and privilege to hold, use, occupy and enjoy the same belongs to any particular Owner and such facilities within the Development serving only any particular Owner;

**"Sub-Deed Plans"**

means the plans certified as to their accuracy by the Authorized Person annexed to this Sub-Deed for identifying various parts of Phase 2B (including without limitation the Common Areas and Facilities within Phase 2B);

**"Sub-Sub-Deed"**

means a Sub-Sub-Deed of Mutual Covenant to be entered into between the First Owner and another co-owner or owners of Phase 2B setting forth the rights and obligations of any component part of Phase 2B and "Sub-Sub-Deeds" shall be construed accordingly; and

- (3) In these presents (if the context permits or requires) words importing the singular number only shall include the plural number and vice versa and words importing the masculine gender only shall include the feminine gender and the neuter and vice versa and words importing persons shall include corporations and vice versa.
- (4) References to any ordinance or statutory provisions shall include or mean any statutory amendments, modifications or re-enactments thereof from time to time being in force.
- (5) In this Sub-Deed, unless the context requires otherwise, any reference to a Clause or Section or Schedule is a reference to the Clause of or Section of or Schedule to this Sub-Deed.

**SECTION 3: OPERATIVE PART**

**1. Grant of rights to the First Owner**

- (a) The First Owner shall at all times hereafter, subject to and with the benefit of the Government Grant, have the sole and exclusive right and privilege to hold, use, occupy and enjoy to the

exclusion of the Phase 2B First Assignee the whole of Phase 2B together with the appurtenances thereto and the entire rents and profits thereof SAVE AND EXCEPT the Phase 2B First Assignee's Unit, the Common Areas and Facilities within Phase 2B and SUBJECT TO the rights and privileges granted to Phase 2B First Assignee by the aforesaid Assignment and SUBJECT TO the Principal Deed and the provisions of this Sub-Deed.

- (b) The First Owner shall at all times hereafter, subject to and with the benefit of the Government Grant, have the right without the necessity of making any Owner entitled to the exclusive use occupation and enjoyment of any part or parts of the Land or the Development within Phase 2B a party thereto to enter into Sub-Sub-Deed(s) in respect of the First Owner's Premises

PROVIDED THAT :-

- (i) the right reserved to the First Owner under this Clause shall be subject to the rights and privileges of FSI and shall not in any way adversely affect or prejudice the rights easements and privileges reserved to FSI in the Principal Deed and this Sub-Deed and the Government Grant; and
- (ii) such Sub-Sub-Deed(s) shall not conflict with the provisions of the Principal Deed and this Sub-Deed nor affect the rights, interests or obligations of the other Owners bound by any other previous Sub-Sub-Deed(s) and shall be subject to the approval of the Director, unless otherwise waived.

**2. Grant of rights to the Phase 2B First Assignee**

The Phase 2B First Assignee shall at all times hereafter, subject to and with the benefit of the Government Grant, the Principal Deed and these presents, have the full and exclusive right and privilege to hold, use, occupy and enjoy to the exclusion of the First Owner the Phase 2B First Assignee's Unit by the said Assignment together with the appurtenances thereto and the entire rents and profits thereof.

**3. Rights of all Owners**

Each Undivided Share and the sole and exclusive right and privilege to hold, use, occupy and enjoy any part of Phase 2B shall be held by the Owner from time to time of such Undivided Share subject to and with the benefit of the easements, rights, privileges and obligations, and the covenants and provisions contained in this Sub-Deed, the Principal Deed (including the Second Schedule thereto) and the express covenants and provisions therein contained.

**4. Owners bound by covenants and restrictions**

The Owner or Owners for the time being of each Undivided Share allocated to any part of Phase 2B (excluding FSI as the Owner of the Government Accommodation within Phase 2B) shall (subject to the rights, privileges and easements reserved to FSI, its lessees, tenants, licensees and persons authorized by it and the Owners and occupiers for the time being of the Government Accommodation in the Second Schedule of the Principal Deed) at all times hereafter be bound by and shall observe and perform the covenants, provisions and restrictions contained in the Principal Deed and in the Third Schedule to the Principal Deed and such Owner shall comply with the House Rules from time to time in force so far as the same are binding on such Owner.

**5. Right to assign without reference to other Owners**

Every Owner of Phase 2B shall have the full right and liberty without reference to any other Owner or any person who may be interested in any other Undivided Share(s) in any way whatsoever and without the necessity of making such other Owner or such person a party to the transaction to sell, assign, mortgage, charge, lease, license or otherwise dispose of or deal with his Undivided Share(s) or interest of and in the Land and the Development together with the sole and exclusive right and privilege to hold, use, occupy and enjoy such part(s) of the Development which may be held therewith PROVIDED THAT any such transaction shall be expressly subject to and with the benefit of the Principal Deed and this Sub-Deed.

6. **Right to exclusive use not to be dealt with separately from Undivided Shares**

- (a) The sole and exclusive right and privilege to hold, use, occupy and enjoy any part of the Phase 2B shall not be sold, assigned, mortgaged, charged, leased or otherwise dealt with separately from the Undivided Share(s) with which the same is held PROVIDED ALWAYS that the provisions of this Clause, subject to the Government Grant, do not extend to any lease, tenancy or licence with a term not exceeding ten (10) years.
- (b) The right to the exclusive use, occupation and enjoyment of balcony, utility platform, stairhood, flat roof, roof or garden specifically assigned by the First Owner shall not be sold, assigned, mortgaged, charged, leased or otherwise dealt with separately from the Residential Unit within Phase 2B with which such balcony, utility platform, stairhood, flat roof, roof or garden is held.

7. **Common Areas and Facilities within Phase 2B**

- (a) The Common Areas and Facilities within Phase 2B shall form part of the Common Areas and Facilities.
- (b) The Development Common Areas and Facilities within Phase 2B shall form part of the Development Common Areas and Facilities.
- (c) The Residential Common Areas and Facilities within Phase 2B shall form part of the Residential Common Areas and Facilities.

8. **Annual budget**

For the avoidance of doubt, upon the execution of this Sub-Deed,

- (a) the first part of the annual budget referred in Clause 4.6(a) of the Principal Deed shall cover as well all expenditure which in the opinion of the Manager (whose decision shall be conclusive save for manifest error) is required for the proper management of the Development Common Areas and Facilities within Phase 2B; and
- (b) the second part of the annual budget referred in Clause 4.6(b) of the Principal Deed shall cover as well all expenditure which in the opinion of the Manager (whose decision shall be conclusive save for manifest error) is required for the proper management of the Residential Common Areas and Facilities within Phase 2B.

9. **Application of the Principal Deed**

All the covenants provisions terms stipulations and agreements in the Principal Deed and in particular the powers of the Manager contained in the Principal Deed and the obligation to pay management expenses and other payments and deposits shall in so far as the same are not inconsistent with the covenants and provisions herein contained apply and take effect and be binding on the parties hereto as if the same had been specifically set out in these presents in full. In the event that any of the provisions of this Sub-Deed shall be inconsistent and shall conflict with the Principal Deed, the provisions of the Principal Deed shall prevail.

10. **Non-enclosed Areas within Phase 2B**

All covenants provisions terms stipulations and agreements contained in the Principal Deed in respect of the Non-enclosed Areas shall apply to the Non-enclosed Areas within Phase 2B.

11. **Kitchen Wall within Phase 2B**

All covenants provisions terms stipulations and agreements contained in the Principal Deed in respect of the Kitchen Wall shall apply to the Kitchen Wall within Phase 2B.

12. **Assignment of Common Areas and Facilities within Phase 2B**

- (a) Upon execution of this Sub-Deed, the First Owner shall assign to the Manager free of costs or consideration the whole of the Undivided Shares allocated to the Common Areas and Facilities within Phase 2B together with the Common Areas and Facilities within Phase 2B for the general benefit of the Owners subject to and with the benefit of the Government Grant, the Principal Deed and this Sub-Deed.
- (b) Such Undivided Shares together with the right to hold, use, occupy and enjoy the Common Areas and Facilities within Phase 2B shall be held by the Manager as trustee for the benefit of all the Owners for the time being and in the event the Manager shall resign or be dismissed or wound up or a receiving order made against it and another manager appointed in its stead in accordance with the Principal Deed and this Sub-Deed, then the Manager or the liquidator or the receiver (as the case may be) shall assign free of costs or consideration such Undivided Shares to the new manager upon the same trust PROVIDED THAT if an Owners' Corporation is formed under the Building Management Ordinance it may require the Manager for the time being or its liquidator or receiver (as the case may be) to assign such Undivided Shares and transfer the management responsibility to it free of costs or consideration and in which event the Manager shall assign free of costs or consideration the Undivided Shares allocated to the Common Areas and Facilities within Phase 2B together with the Common Areas and Facilities within Phase 2B and transfer free of costs or consideration the management responsibility to the Owners' Corporation which shall hold such Undivided Shares on trust for the benefit of all the Owners.

**13. Compliance with the Government Grant**

Nothing in this Sub-Deed conflicts with or is in breach of the conditions of the Government Grant. If any provision contained in this Sub-Deed conflicts with the Government Grant, the Government Grant shall prevail.

All Owners (including the First Owner) and the Manager covenant with each other to comply with the conditions of the Government Grant so long as they remain as Owners or (as the case may be) the Manager. The covenants and provisions of this Sub-Deed are binding on all Owners and the benefit and burden thereof are annexed to the Land and the Development and to the Undivided Share(s) in respect thereof.

**14. Chinese translation**

The First Owner shall at his own cost provide a direct translation in Chinese of this Sub-Deed and deposit a copy of this Sub-Deed and its Chinese translation in the management office of the Development within one month from the date hereof for inspection by all Owners free of costs and for taking of copies by the Owners at their expense and upon payment of a reasonable charge. All charges received must be credited to the Special Fund. In the event of any dispute arising out of the interpretation of the Chinese translation and the English version of this Sub-Deed, the English version of this Sub-Deed approved by the Director of Lands shall prevail.

**15. Plans of Common Areas and Facilities within Phase 2B**

A set of the plans annexed hereto showing the Common Areas and Facilities within Phase 2B (if and where capable of being shown on plans) shall be kept at the management office of the Development for inspection by the Owners during normal office hours free of costs and charges PROVIDED THAT whether such plans are annexed to this Sub-Deed or lodged in the management office of the Development, the Manager shall provide free of cost to the Owner of the Government Accommodation within Phase 2B a copy of the said plans and any amendments thereto from time to time.

**16. Sub-Deed binding on executors, etc.**

The covenants and provisions of this Sub-Deed shall be binding on the parties hereto and their respective executors, administrators, successors in title and assigns and the benefit and burden thereof shall be annexed to the Residential Units within Phase 2B and the Common Areas and Facilities within Phase 2B and to the Undivided Share or Shares held therewith.

17. **Building Management Ordinance**

No provision in this Sub-Deed shall contradict, overrule or fail to comply with the provisions of the Building Management Ordinance and the Schedules thereto.

18. **Establishment of RCHE or RCHD**

No provision in this Sub-Deed shall operate to prohibit, prevent, hinder or prejudice the establishment or operation of RCHE or RCHD, or the use of the Land or any part thereof or any building or part of any building erected thereon for the purpose of RCHE or RCHD.

19. **Repair and Maintenance of Noise Mitigation Measures within Phase 2B**

No Owner shall make or permit or suffer to be made any alteration or conversion or modification of the Noise Mitigation Measures within Phase 2B forming part of his Residential Unit. The Owners of those Residential Units with Noise Mitigation Measures within Phase 2B forming part of their Residential Units shall at their own cost and expense repair and maintain the Noise Mitigation Measures within Phase 2B forming part of their Residential Units to the satisfaction of the Director of Lands and shall be responsible for the control, operation, financial support and maintenance for the Noise Mitigation Measures within Phase 2B forming part of their Residential Units.

**IN WITNESS** whereof the parties hereto have caused this Sub-Deed to be executed the day and year first above written.

**THE FIRST SCHEDULE**

**Allocation of Undivided Shares**

**Section 1: Summary**

<b>Description</b>	<b>Undivided Shares</b>
<b>Phase 2B</b>	
Residential Units within Phase 2B	<b>504,478</b>
Government Accommodation within Phase 2B:-	<b>19,338</b>
(i) Portion of the Government Accommodation (RCHE)	19,338
Common Areas and Facilities within Phase 2B	<b>3,000</b>
Total:	<b>526,816</b>

## Section 2: Schedule of Allocation

(A) Residential Units within Phase 2B

504,478 Undivided Shares

### Scenic Tower 1 (優景閣第 1 座)

Tower	Floor	Flat	Remarks	Undivided Shares		
				Each	No. of Flat	Total
Scenic Tower 1	G/F (1 Storey)	A1	(2)	808	1	808
		A2	(2)	759		759
		A3	(2)	748		748
		A5	(2)	742		742
		A6	(2)	1,098		1,098
		A8	(2)	778		778
		A9	(2)	748		748
		A11	(2)	1,410		1,410
		B1	(2)	687		687
		B2	(2)	750		750
	1/F (1 Storey)	A1	(1)	753	1	753
		A2	(1)	718		718
		A3	(1)	720		720
		A5	(1)	721		721
		A6	(1)	978		978
		A8	(1)	740		740
		A9	(1)	711		711
		A10	(1)	372		372
		A11	(1)	1,309		1,309
		B1	(1)	671		671
		B2	(1)	715		715
	2/F – 15/F (11 Storeys)	A1	(1)	742	11	8,162
		A2	(1)	718		7,898
		A3	(1)	720		7,920
		A5	(1)	721		7,931
		A6	(1)	978		10,758
		A8	(1)	740		8,140
		A9	(1)	711		7,821
		A10	(1)	372		4092
		A11	(1)	1,309		14,399
		B1	(1)	671		7,381
		B2	(1)	705		7,755
		B3	(1)	709		7,799
	16/F (1 Storey)	A1	(1)(3)	793	1	793
		A2	(1)(3)	767		767
		A3	(1)(3)	781		781
		A5	(1)(3)	787		787
		A6	(1)(3)	1,063		1,063
		A8	(1)(3)	769		769
		A9	(1)(3)	765		765
		A10	(1)(3)	404		404
		A11	(1)(3)	1,340		1,340
		B1	(1)(3)	714		714
		B2	(1)(3)	746		746
		B3	(1)(3)	750		750
Total						126,671

Note:

1. There is no designation of 4<sup>th</sup>, 13<sup>th</sup> and 14<sup>th</sup> Floor in Scenic Tower 1.

Scenic Tower 2 (優景閣第 2 座)

Tower	Floor	Flat	Remarks	Undivided Shares		
				Each	No. of Flat	Total
Scenic Tower 2	G/F (1 Storey)	A1	(2)	773	1	773
		A2	(2)	838		838
		A3	(2)	742		742
		A8	(2)	1,150		1,150
		B1	(2)	686		686
		B2	(2)	770		770
		B3	(2)	773		773
		B6	(2)	773		773
		B8	(2)	841		841
	1/F (1 Storey)	A1	(1)	713	1	713
		A2	(1)	778		778
		A3	(1)	499		499
		A5	(1)	507		507
		A6	(1)	368		368
		A8	(1)	743		743
		B1	(1)	665		665
		B2	(1)	717		717
		B3	(1)	722		722
		B6	(1)	734		734
		B8	(1)	813		813
	2/F – 15/F (11 Storeys)	A1	(1)	713	11	7,843
		A2	(1)	778		8,558
		A3	(1)	499		5,489
		A5	(1)	507		5,577
		A6	(1)	368		4,048
		A8	(1)	743		8,173
		B1	(1)	665		7,315
		B2	(1)	717		7,887
		B3	(1)	713		7,843
		B5	(1)	1,022		11,242
		B6	(1)	723		7,953
		B8	(1)	813		8943
	16/F (1 Storey)	A1	(1)(3)	1,803	1	1,803
		A3	(1)(3)	539		539
		A5	(1)	507		507
		A6	(1)(3)	395		395
		A8	(1)(3)	773		773
		B1	(1)(3)	717		717
		B2	(1)(3)	749		749
		B3	(1)(3)	742		742
		B5	(1)(3)	1,050		1,050
		B6	(1)(3)	754		754
		B8	(1)(3)	847		847
Total						114,352

Note:

1. There is no designation of 4<sup>th</sup>, 13<sup>th</sup> and 14<sup>th</sup> Floor in Scenic Tower 2.

Scenic Tower 3 (優景閣第 3 座)

Tower	Floor	Flat	Remarks	Undivided Shares		
				Each	No. of Flat	Total
Scenic Tower 3	G/F (1 Storey)	A1	(2)	780	1	780
		A2	(2)	838		838
		A3	(2)	741		741
		A8	(2)	1,146		1,146
		B1	(2)	682		682
		B2	(2)	769		769
		B3	(2)	772		772
		B6	(2)	785		785
		B8	(2)	841		841
	1/F (1 Storey)	A1	(1)	713	1	713
		A2	(1)	778		778
		A3	(1)	499		499
		A5	(1)	507		507
		A6	(1)	368		368
		A8	(1)	743		743
		B1	(1)	665		665
		B2	(1)	717		717
		B3	(1)	722		722
		B6	(1)	734		734
		B8	(1)	813		813
	2/F – 15/F (11 Storeys)	A1	(1)	713	11	7,843
		A2	(1)	778		8,558
		A3	(1)	499		5,489
		A5	(1)	507		5,577
		A6	(1)	368		4,048
		A8	(1)	743		8,173
		B1	(1)	665		7,315
		B2	(1)	717		7,887
		B3	(1)	716		7,876
		B5	(1)	938		10,318
		B6	(1)	729		8,019
		B8	(1)	813		8,943
	16/F (1 Storey)	A1	(1)(3)	1,803	1	1,803
		A3	(1)(3)	539		539
		A5	(1)	507		507
		A6	(1)(3)	395		395
		A8	(1)(3)	773		773
		B1	(1)(3)	717		717
		B2	(1)(3)	749		749
		B3	(1)(3)	745		745
		B5	(1)(3)	966		966
		B6	(1)(3)	760		760
		B8	(1)(3)	847		847
Total						113,460

Note:

1. There is no designation of 4<sup>th</sup>, 13<sup>th</sup> and 14<sup>th</sup> Floor in Scenic Tower 3.

Scenic Tower 5 (優景閣第 5 座)

Tower	Floor	Flat	Remarks	Undivided Shares		
				Each	No. of Flat	Total
Scenic Tower 5	3/F (1 Storey)	A1	(1)	713	1	713
		A2	(1)(2)	796		796
		A3	(2)	520		520
		A5	(2)	531		531
		A8	(2)	1,134		1,134
		B1	(2)	683		683
		B2	(2)	730		730
		B3	(1)	715		715
		B5	(2)	841		841
		B6	(1)	725		725
		B8	(1)	813		813
		5/F – 12/F (8 Storeys)	A1	(1)		713
	A2		(1)	778	6,224	
	A3		(1)	499	3,992	
	A5		(1)	507	4,056	
	A6		(1)	368	2,944	
	A8		(1)	743	5,944	
	B1		(1)	665	5,320	
	B2		(1)	717	5,736	
	B3		(1)	715	5,720	
	B5		(1)	832	6,656	
	B6		(1)	724	5,792	
	B8		(1)	813	6,504	
	15/F (1 Storey)	A1	(1)(3)	1,803	1	1,803
		A3	(1)(3)	539		539
		A5	(1)	507		507
		A6	(1)(3)	395		395
		A8	(1)(3)	773		773
		B1	(1)(3)	717		717
		B2	(1)(3)	749		749
		B3	(1)(3)	744		744
		B5	(1)(3)	855		855
		B6	(1)(3)	755		755
	B8	(1)(3)	847	847		
Total						81,477

Note:

1. There is no designation of 4<sup>th</sup>, 13<sup>th</sup> and 14<sup>th</sup> Floor in Scenic Tower 5.

Scenic Tower 6 (優景閣第 6 座)

Tower	Floor	Flat	Remarks	Undivided Shares		
				Each	No. of Flat	Total
Scenic Tower 6	3/F (1 Storey)	A1	(2)	732	1	732
		A2	(2)	789		789
		A3	(2)	561		561
		A5	(2)	1,405		1,405
		B1	(1)	789		789
		B2	(1)	788		788
		B3	(2)	987		987
		B5	(1)	811		811
	5/F – 12/F (8 Storeys)	A1	(1)	712	8	5,696
		A2	(1)	777		6,216
		A3	(1)	544		4,352
		A5	(1)	1,389		11,112
		B1	(1)	789		6,312
		B2	(1)	788		6,304
		B3	(1)	984		7,872
		B5	(1)	811		6,488
	15/F (1 Storey)	A1	(1)(3)	1,802	1	1,802
		A3	(1)	544		544
		A5	(1)(3)	1,447		1,447
		B1	(1)(3)	831		831
		B2	(1)(3)	818		818
		B3	(1)(3)	1,017		1,017
		B5	(1)(3)	845		845
Total						68,518

Note:

1. There is no designation of 4<sup>th</sup>, 13<sup>th</sup> and 14<sup>th</sup> Floor in Scenic Tower 6.

Remarks for Scenic Tower 1, Scenic Tower 2, Scenic Tower 3, Scenic Tower 5 and Scenic Tower 6 :

- (1) means including the balcony thereof.
- (2) means including the garden(s) thereof.
- (3) means including the roof(s) thereabove.

(B) Government Accommodation within Phase 2B 19,338 Undivided Shares

(C) Common Areas and Facilities within Phase 2B 3,000 Undivided Shares

Total for Phase 2B: 526,816 Undivided Shares

## **THE SECOND SCHEDULE**

### **Noise Mitigation Measures**

#### **Part A**

The following Noise Mitigation Measure form part of the Development Common Areas and Facilities within Phase 2B:-

- (a) ACOUSTIC WINDOW (BAFFLE TYPE) (shown and marked “ACOUSTIC WINDOW (BAFFLE TYPE)” on the Sub-Deed Plans).

#### **Part B**

The following Noise Mitigation Measures (if any) form part of the Residential Common Areas and Facilities within Phase 2B:-

- (a) VERTICAL FIN (shown and marked “VF” and coloured (i) yellow solid hatched yellow; or (ii) yellow solid hatched black, on the Sub-Deed Plans);
- (b) SOUND ABSORPTIVE MATERIAL (shown and coloured yellow hatched zigzag black on the Sub-Deed Plans); and
- (c) SOLID WALL (shown and coloured yellow hatched black on the Sub-Deed Plans).

#### **Part C**

The following Noise Mitigation Measures (if any) form part of the Residential Units within Phase 2B :-

- (a) FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (shown by pink dotted line on the Sub-Deed Plans);
- (b) AUTO-CLOSE DOOR (shown by violet dotted line on the Sub-Deed Plans);
- (c) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE) (shown and marked "CAW(BT)" on the Sub-Deed Plans);
- (d) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE) (shown and marked "CAB(BT)" on the Sub-Deed Plans);
- (e) ACOUSTIC SLIDING PANEL WITH ENHANCEMENTS (shown and marked "ASP WITH ENHANCEMENTS" on the Sub-Deed Plans);
- (f) VERTICAL FIN (shown and marked “VF” and coloured solid hatched black on the Sub-Deed Plans);
- (g) SOUND ABSORPTIVE MATERIAL (shown and coloured hatched zigzag black on the Sub-Deed Plans); and
- (h) TYPICAL ACOUSTIC BALCONY (shown and marked "TAB" on the Sub-Deed Plans).

**The First Owner**

**EXECUTED** as a deed and **SEALED** with the )  
Common Seal of the **First Owner** in accordance )  
with the articles of association and **SIGNED** by )  
)  
)  
)  
)  
duly authorised by a board resolution of its )  
directors whose signature(s) is/are verified by:- )  
)  
)

**Phase 2B First Assignee**

[Where the Phase 2B First Assignee is an individual(s)]

**SIGNED, SEALED and DELIVERED** by the )  
**Phase 2B First Assignee** (Holder(s) of )  
[ ] in the presence of:- )  
)

**INTERPRETED** to the Phase 2B First Assignee by:-

[OR where the Phase 2B First Assignee adopts common seal]

**EXECUTED** as a deed and **SEALED** with the )  
Common Seal of the **Phase 2B First Assignee** in )  
accordance with the articles of association and )  
**SIGNED** by )  
)  
)  
)  
)  
duly authorised by a board resolution of its )  
directors [in the presence of / whose signature(s) )  
is/are verified by):- )

[OR where the Phase 2B First Assignee does not adopt common seal]

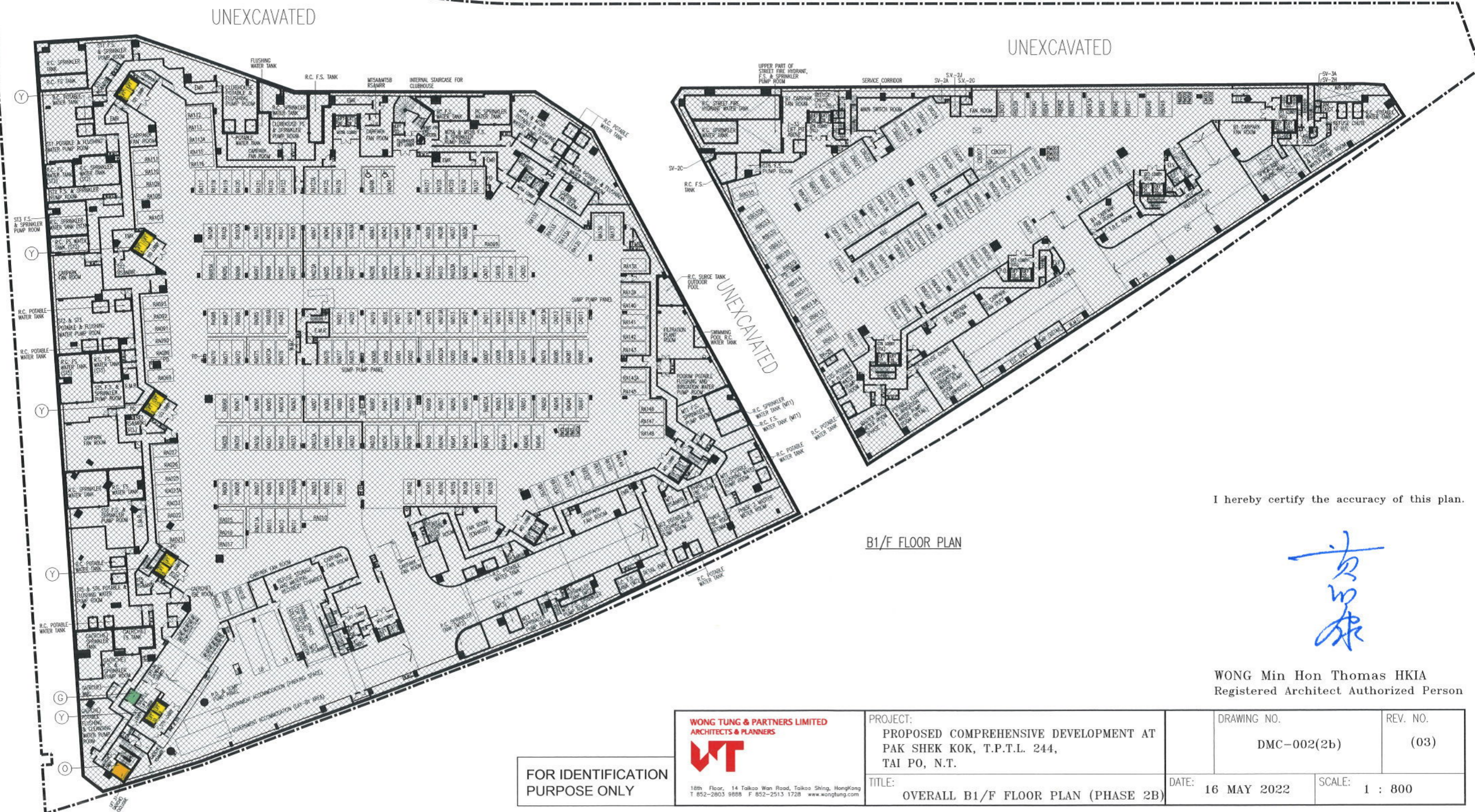
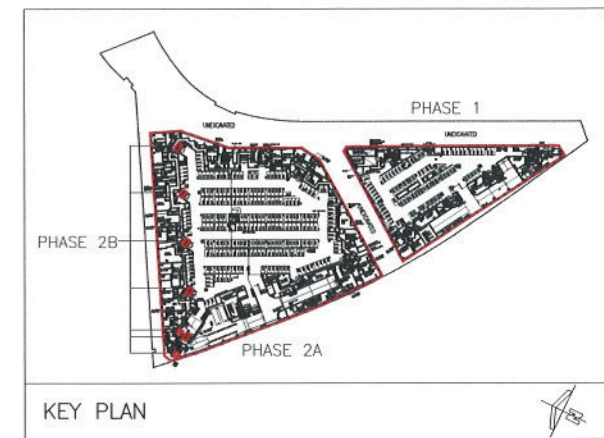
**SIGNED** as a deed by )  
)  
)  
)  
duly authorized for and on behalf of the **Phase 2B** )  
**First Assignee** in the presence of:- )  
)

**The DMC Manager**

**EXECUTED** as a deed and **SEALED** with the )  
Common Seal of the **DMC Manager** in )  
accordance with the articles of association and )  
**SIGNED** by )  
)  
)  
)  
)  
duly authorised by a board resolution of )  
its directors whose signature(s) is/are )  
verified by :- )

LEGEND:

- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
O GOVERNMENT ACCOMMODATION WITHIN PHASE 2B  
G DEVELOPMENT COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
  PHASE 2B  
  OTHER PHASE(S)  
  CROSSED HATCHED BLACK



B1/F FLOOR PLAN

I hereby certify the accuracy of this plan.

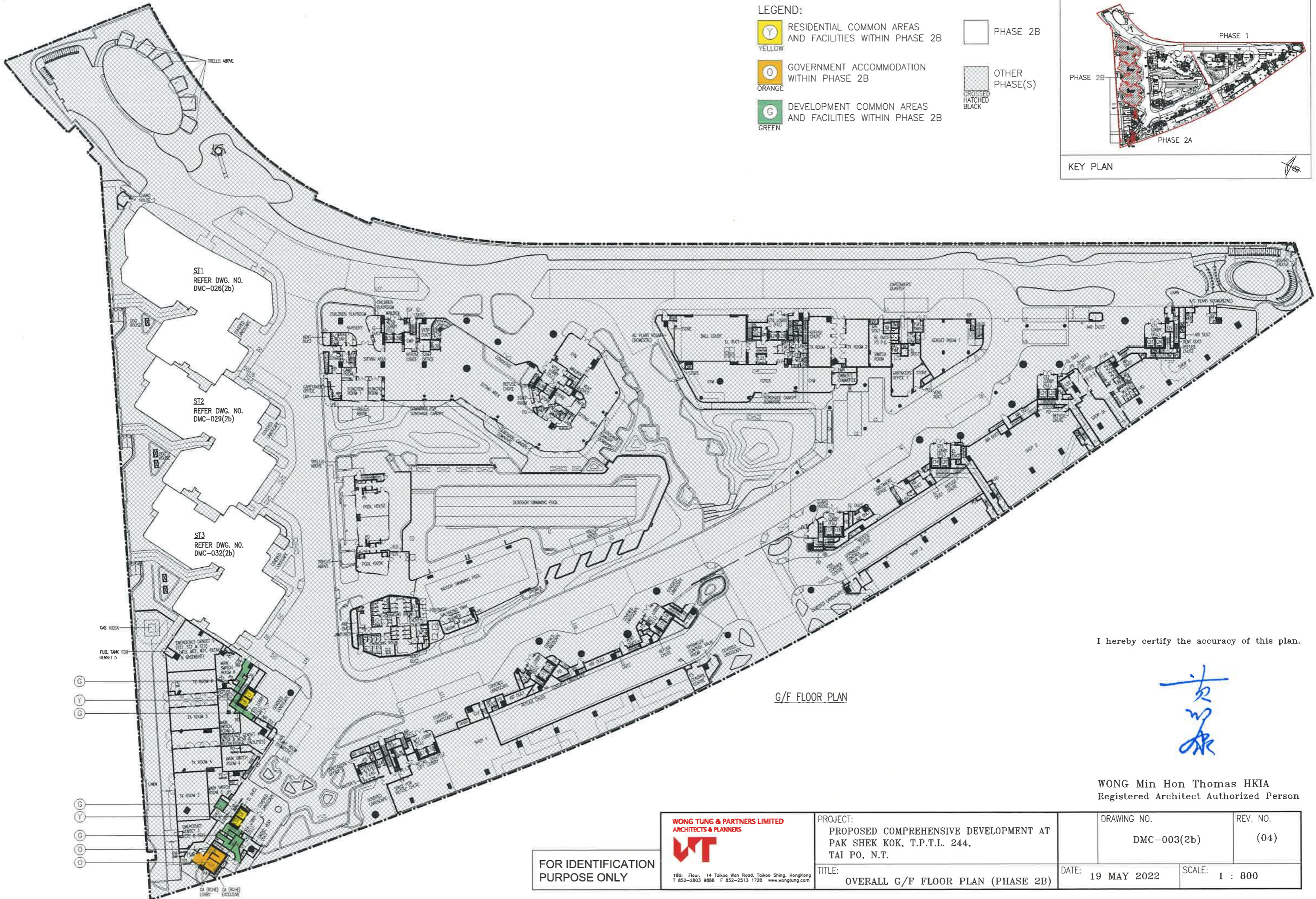
*(Handwritten signature)*

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

FOR IDENTIFICATION  
PURPOSE ONLY

**WONG TUNG & PARTNERS LIMITED**  
 ARCHITECTS & PLANNERS  
  
 18th Floor, 14 Tai Koo Wan Road, Tai Koo Shing, Hong Kong  
 T 852-2803 9888 F 852-2513 1728 www.wongtung.com

PROJECT: PROPOSED COMPREHENSIVE DEVELOPMENT AT PAK SHEK KOK, T.P.T.L. 244, TAI PO, N.T.	DRAWING NO. DMC-002(2b)		REV. NO. (03)
	DATE: 16 MAY 2022	SCALE: 1 : 800	



LEGEND:

- RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B
- GOVERNMENT ACCOMMODATION WITHIN PHASE 2B
- DEVELOPMENT COMMON AREAS AND FACILITIES WITHIN PHASE 2B

- PHASE 2B
- OTHER PHASE(S)


KEY PLAN

I hereby certify the accuracy of this plan.

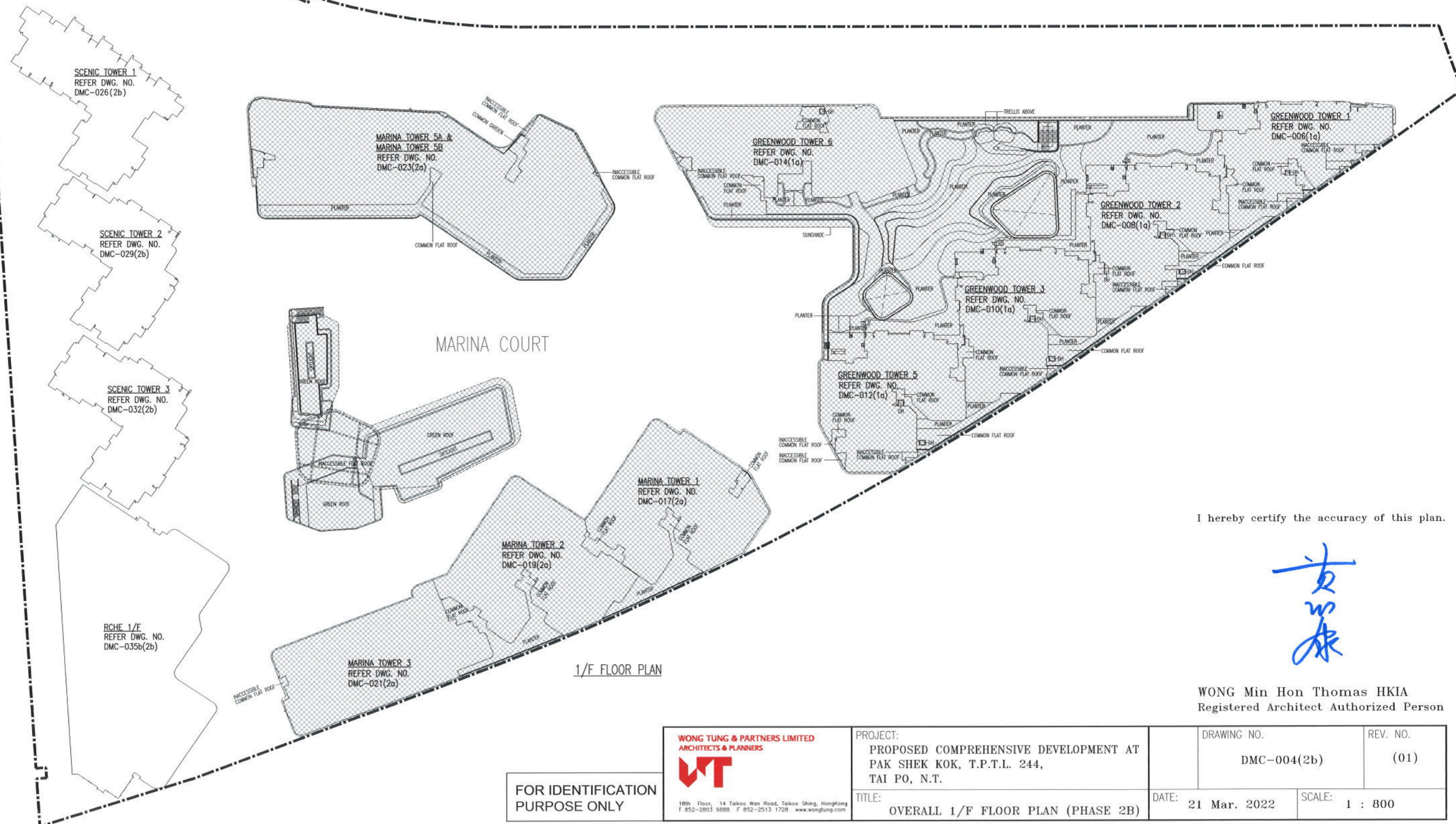
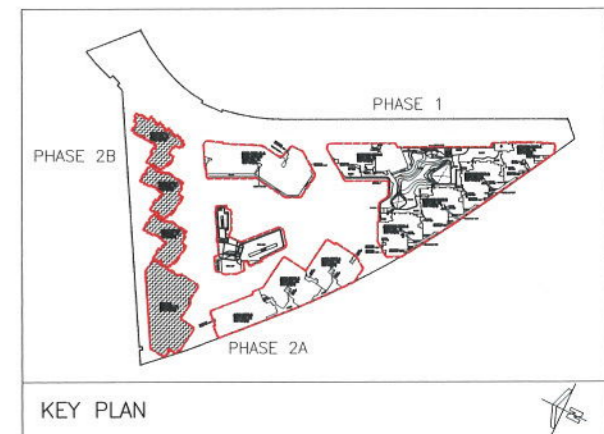
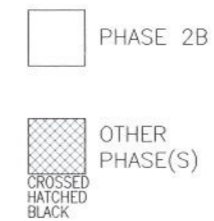
Handwritten signature of Wong Min Hon Thomas HKIA.

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

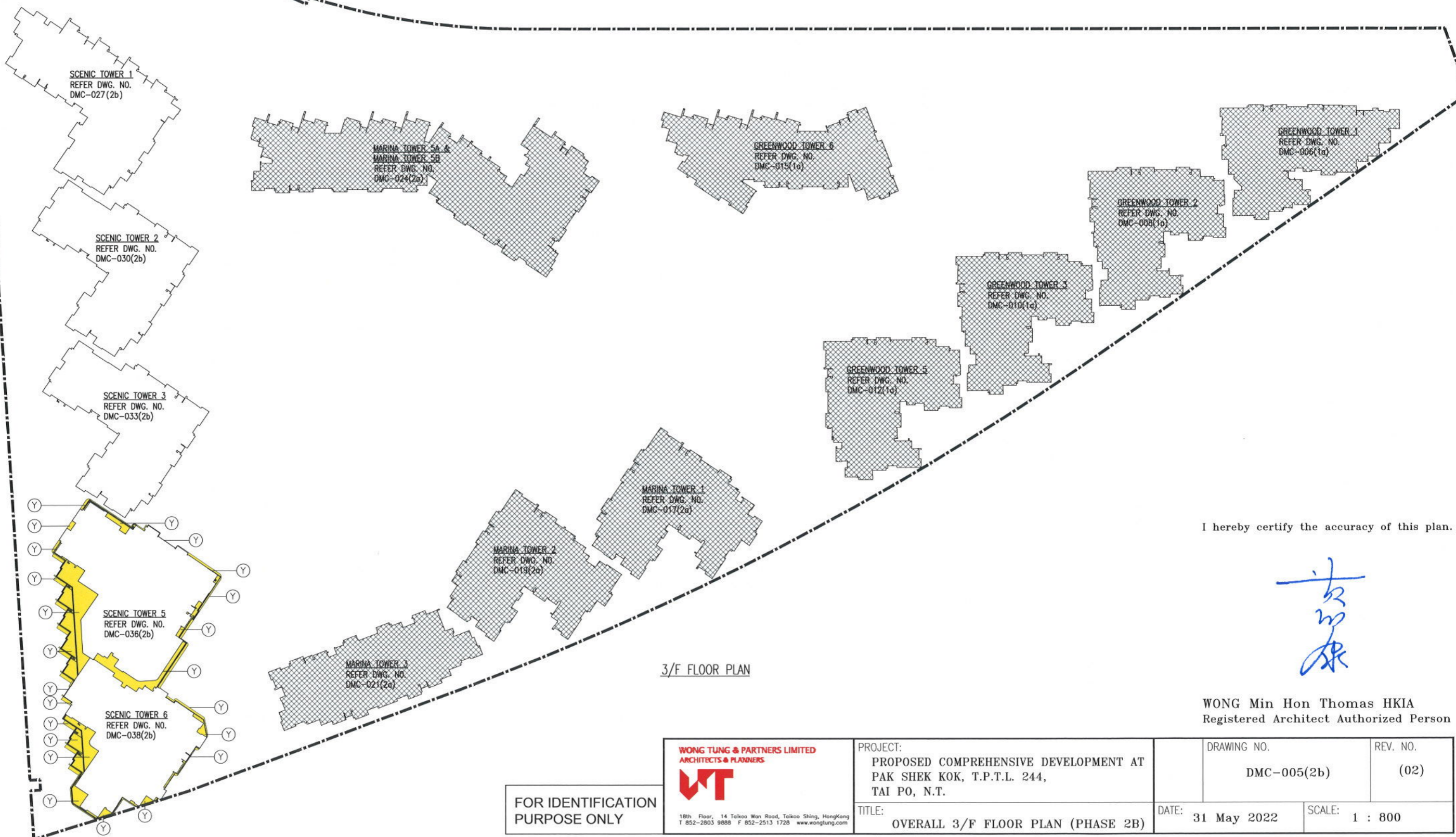
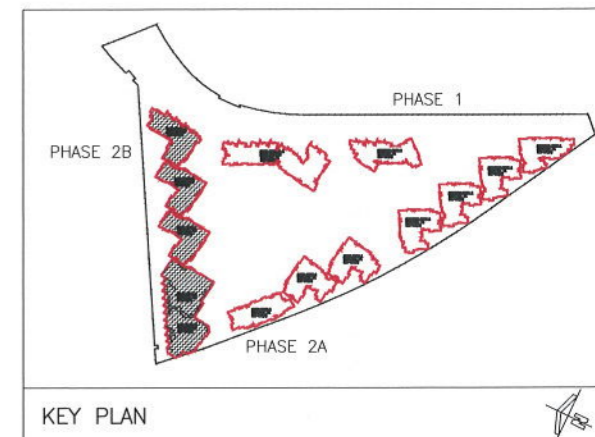
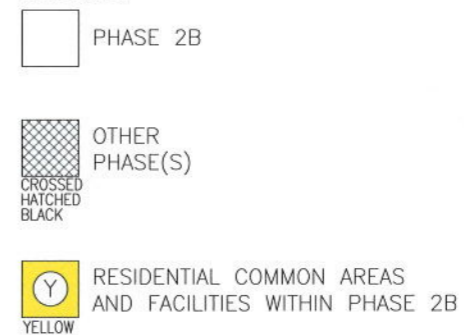
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PURPOSE ONLY

<b>WONG TUNG &amp; PARTNERS LIMITED</b> ARCHITECTS & PLANNERS  <small>18th Floor, 14 Tai Koo Wan Road, Tai Koo Shing, Hong Kong T 852-2803 9888 F 852-2513 1728 www.wongtung.com</small>	PROJECT: PROPOSED COMPREHENSIVE DEVELOPMENT AT PAK SHEK KOK, T.P.T.L. 244, TAI PO, N.T.		DRAWING NO. DMC-003(2b)	REV. NO. (04)
	TITLE: OVERALL G/F FLOOR PLAN (PHASE 2B)		DATE: 19 MAY 2022	SCALE: 1 : 800

LEGEND:



LEGEND:



I hereby certify the accuracy of this plan.

*[Signature]*

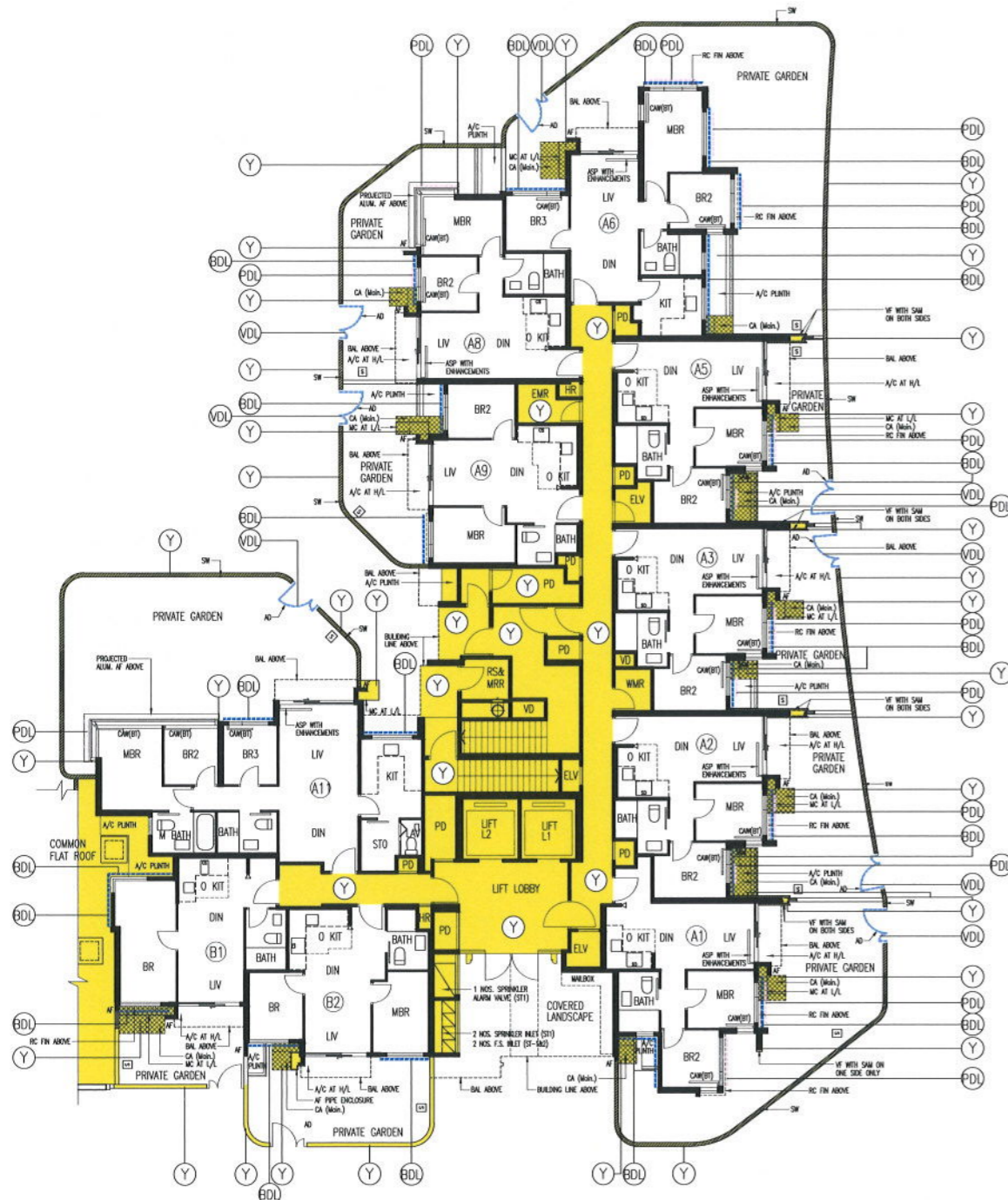
WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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PURPOSE ONLY

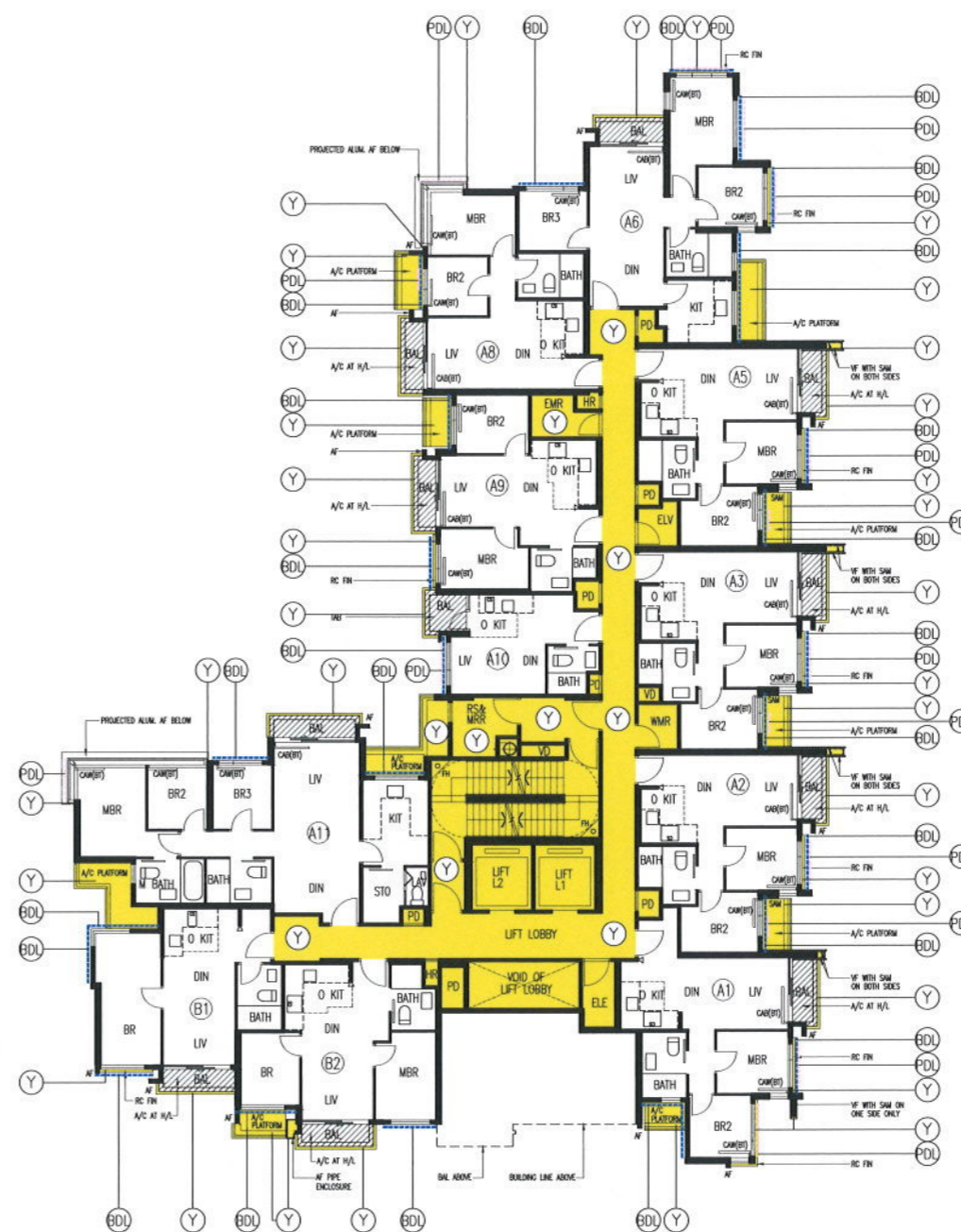
WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS

18th Floor, 14 Talkee Wan Road, Talkee Shing, HongKong  
T 852-2803 9888 F 852-2513 1728 www.wongtung.com

PROJECT: PROPOSED COMPREHENSIVE DEVELOPMENT AT PAK SHEK KOK, T.P.T.L. 244, TAI PO, N.T.	DRAWING NO. DMC-005(2b)	REV. NO. (02)
TITLE: OVERALL 3/F FLOOR PLAN (PHASE 2B)	DATE: 31 May 2022	SCALE: 1 : 800



SCENIC TOWER 1 G/F FLOOR PLAN



SCENIC TOWER 1 1/F FLOOR PLAN

LEGEND:

RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
YELLOW

BALCONY  
HATCHED BLACK

AUTO-CLOSE DOOR (VIOLET DOTTED LINE)

NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)

FRR FULL HEIGHT WALL

CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)

CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)

ASP WITH ENHANCEMENTS : ACOUSTIC SLIDING PANEL WITH ENHANCEMENTS

TAB: TYPICAL ACOUSTIC BALCONY

FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)

SOLID WALL  
YELLOW HATCHED BLACK

SAM: SOUND ABSORPTIVE MATERIAL  
YELLOW HATCHED ZIGZAG BLACK

VF: VERTICAL FIN  
YELLOW SOLID HATCHED YELLOW

CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

FOR IDENTIFICATION  
PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS  
 18th Floor, 14 Tak Kee Wan Road, Tak Kee Shing, Hong Kong  
T 852-2803 9888 F 852-2513 1728 www.wongtung.com

PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: SCENIC TOWER 1  
G/F AND 1/F FLOOR PLAN (PHASE 2B)

DRAWING NO. DMC-026(2b)	REV. NO. (02)
DATE: 31 May 2022	SCALE: 1 : 250



SCENIC TOWER 1  
2/F-15/F FLOOR PLAN  
(4/F, 13/F, 14/F OMITTED)



SCENIC TOWER 1 16/F FLOOR PLAN

LEGEND:

- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B
- BAL BALCONY
- NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)
- BDL (BLUE DOTTED LINE)
- FRR FULL HEIGHT WALL
- CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)
- CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)
- TAB: TYPICAL ACOUSTIC BALCONY
- PDL FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)
- Y / BAL SAM: SOUND ABSORPTIVE MATERIAL
- Y / BAL VF: VERTICAL FIN

I hereby certify the accuracy of this plan.

*(Signature)*

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS



18th Floor, 14 Takoo Wan Road, Takoo Shing, Hong Kong  
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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.  
TITLE: SCENIC TOWER 1  
2/F-16/F FLOOR PLAN (PHASE 2B)

DRAWING NO. DMC-027(2b)	REV. NO. (01)
DATE: 13 April 2022	SCALE: 1 : 250



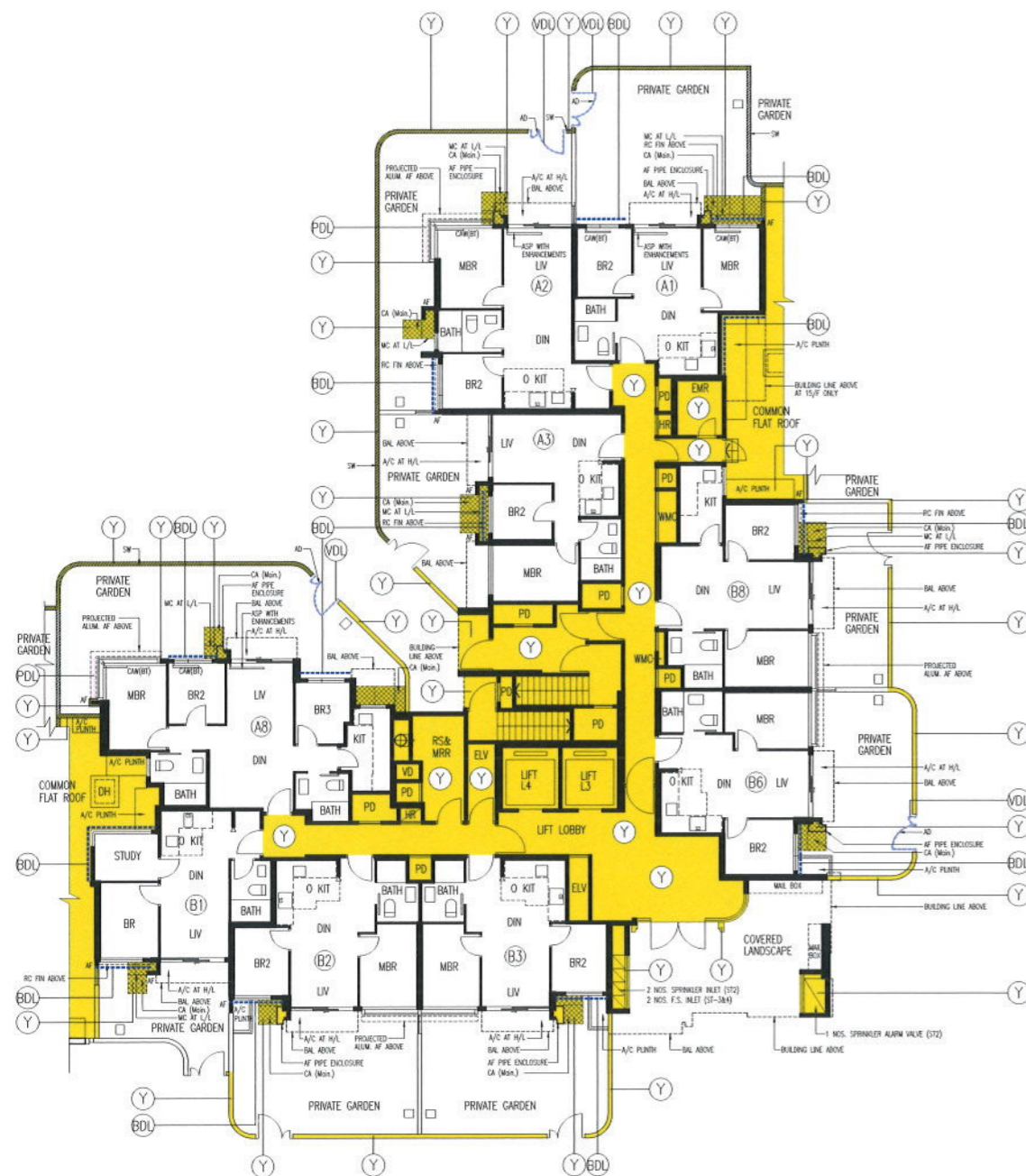
CA (Main.): Common Area (Maintenance)

方原

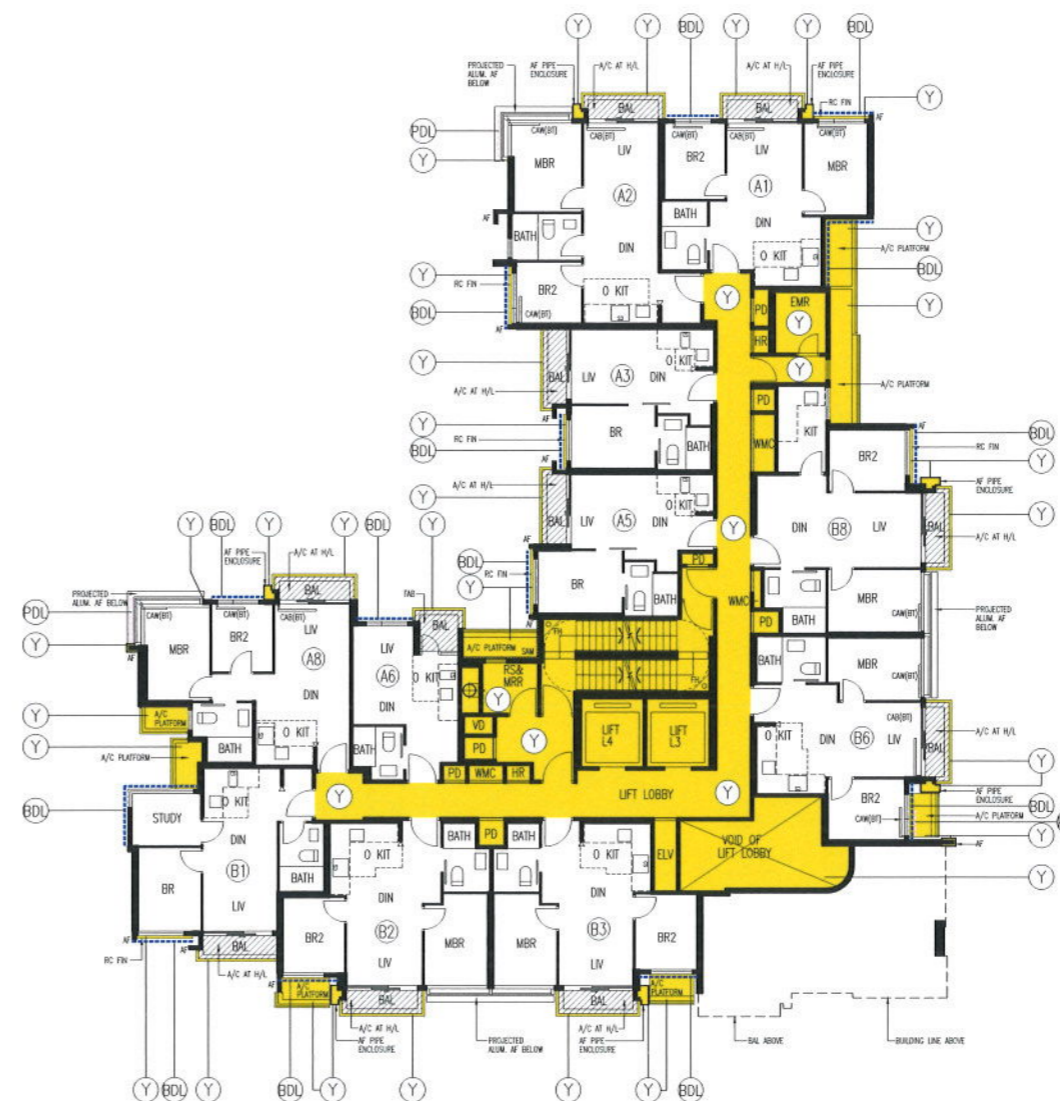
FOR IDENTIFICATION  
PURPOSE ONLY



DATE:	21 March 2022	SCALE:	1 : 250
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SCENIC TOWER 2 G/F FLOOR PLAN



SCENIC TOWER 2 1/F FLOOR PLAN

LEGEND:

RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
YELLOW

BALCONY  
HATCHED BLACK

AUTO-CLOSE DOOR  
(VIOLET DOTTED LINE)

NON-STRUCTURAL PREFABRICATED EXTERNAL WALL  
(BLUE DOTTED LINE)

FRR FULL HEIGHT WALL

CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)

CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)

ASP WITH ENHANCEMENTS  
: ACOUSTIC SLIDING PANEL WITH ENHANCEMENTS

TAB: TYPICAL ACOUSTIC BALCONY

FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION)  
(PINK DOTTED LINE)

SOLID WALL  
YELLOW HATCHED BLACK

CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS



18th Floor, 14 Tai Koo Wan Road, Tai Koo Shing, Hong Kong  
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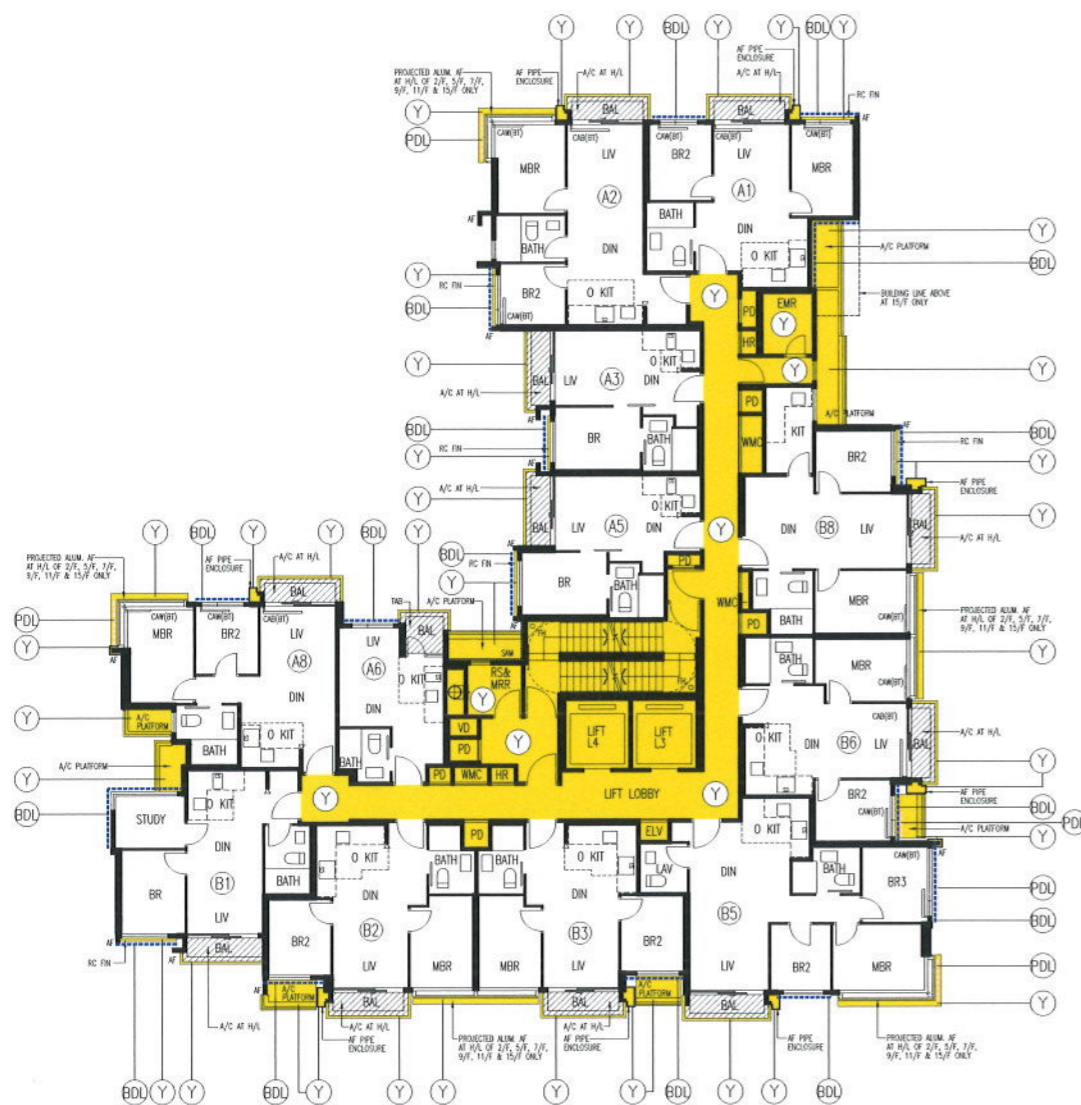
PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: SCENIC TOWER 2  
G/F AND 1/F FLOOR PLAN (PHASE 2B)

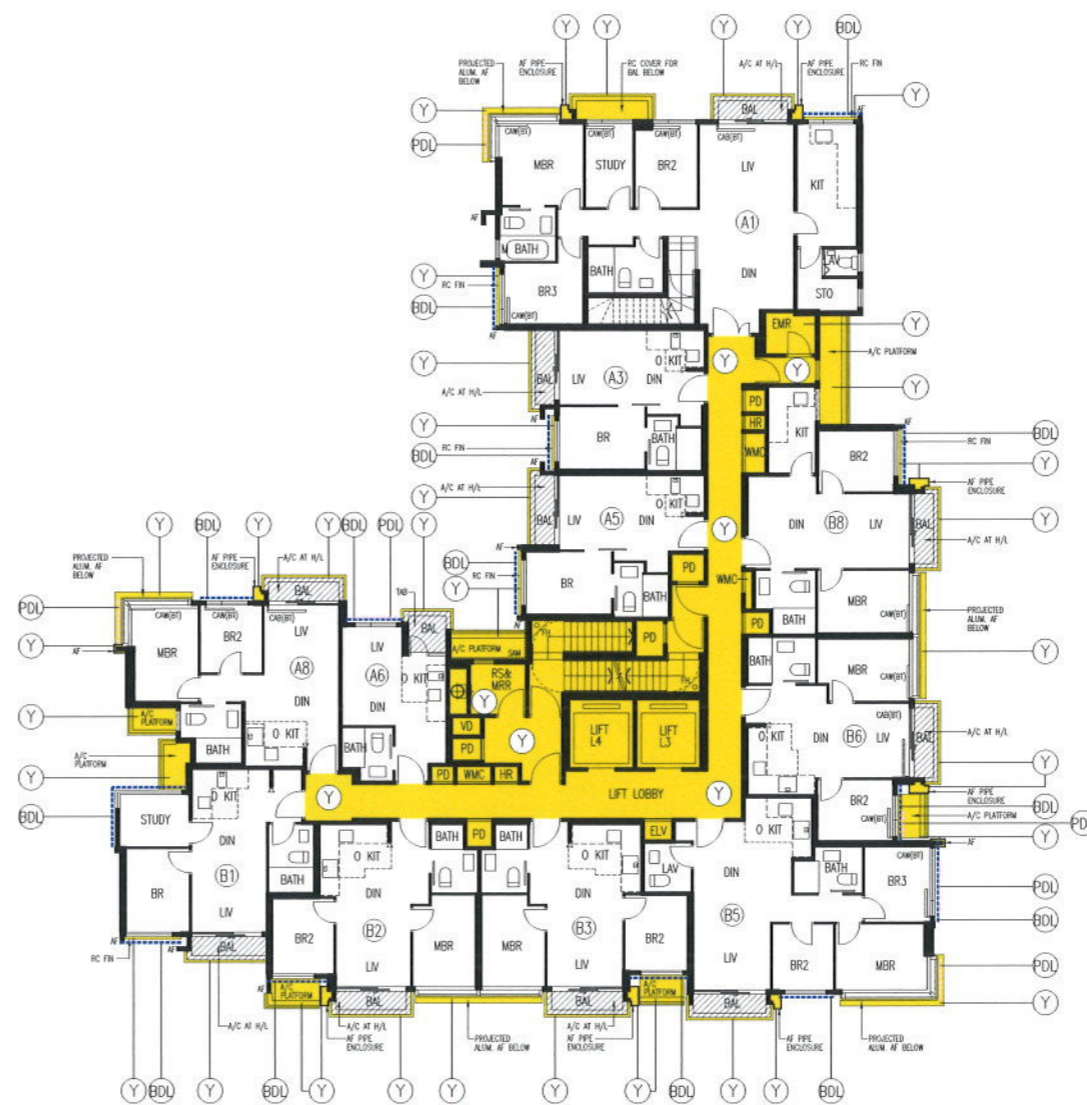
DRAWING NO.  
DMC-029(2b)

REV. NO.  
(01)

DATE: 13 APRIL 2022 SCALE: 1 : 250



SCENIC TOWER 2  
2/F-15/F FLOOR PLAN  
(4/F, 13/F, 14/F OMITTED)



SCENIC TOWER 2 16/F FLOOR PLAN

LEGEND:

Y RESIDENTIAL COMMON AREAS  
AND FACILITIES WITHIN PHASE 2B  
YELLOW

BAL BALCONY  
HATCHED  
BLACK

--- NON-STRUCTURAL  
PREFABRICATED  
EXTERNAL WALL  
(BLUE DOTTED LINE)

▽ FRR FULL HEIGHT WALL

CAW(BT) COMBINED ACOUSTIC  
WINDOW (BAFFLE TYPE)

CAB(BT) COMBINED ACOUSTIC  
BALCONY (BAFFLE TYPE)

PDL FIXED GLAZING WITH MAINTENANCE  
WINDOW (NOT FOR VENTILATION)  
(PINK DOTTED LINE)

TAB: TYPICAL ACOUSTIC BALCONY

I hereby certify the accuracy of this plan.

*[Handwritten Signature]*

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

FOR IDENTIFICATION  
PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS



18th Floor, 14 Tai Koo Wan Road, Tai Koo Shing, Hong Kong  
T 852-2803 9888 F 852-2513 1728 www.wongtung.com

PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: SCENIC TOWER 2  
2/F-16/F FLOOR PLAN (PHASE 2B)

DRAWING NO.  
DMC-030(2b)

REV. NO.  
(01)

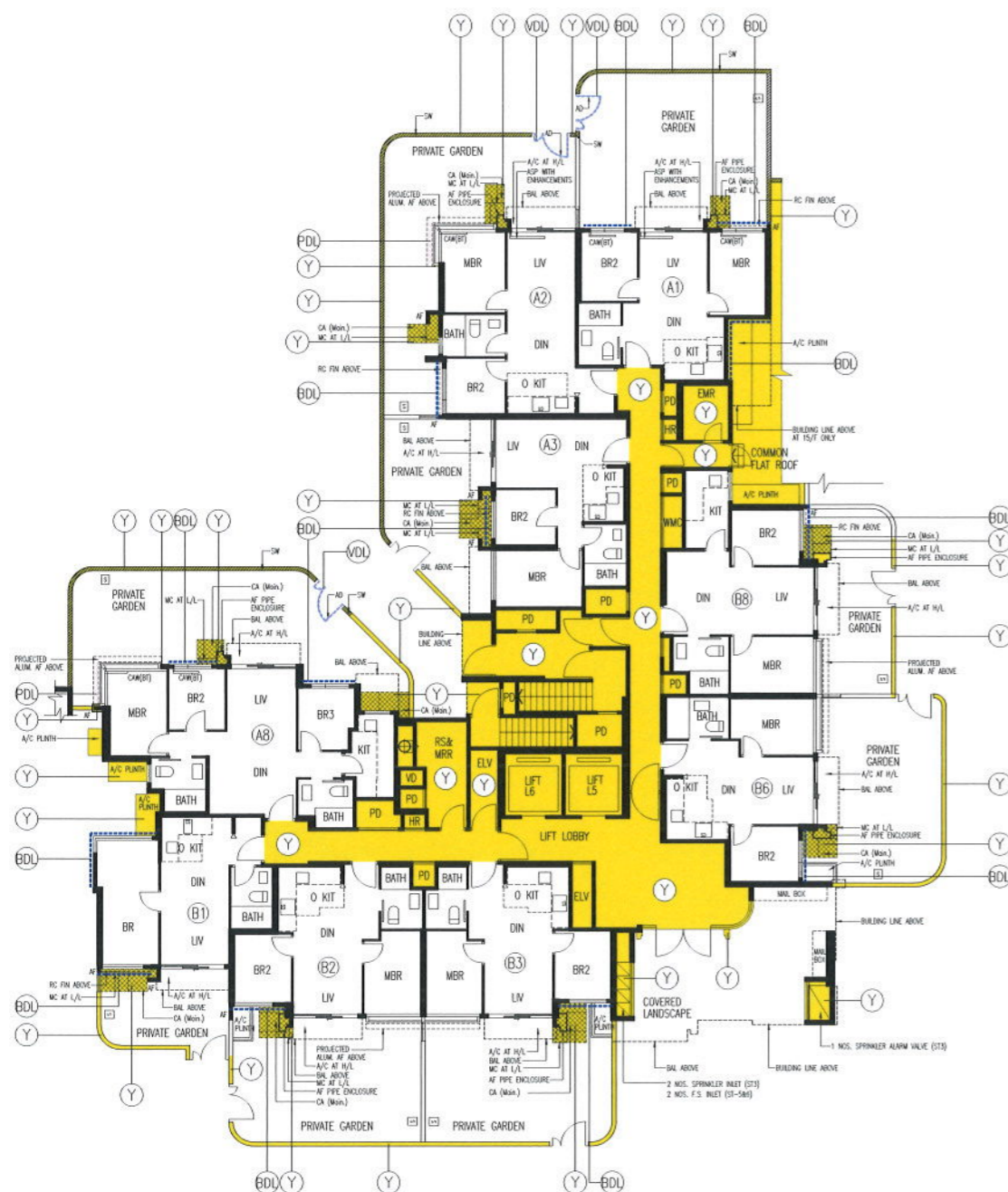
DATE: 13 APRIL 2022

SCALE: 1 : 250

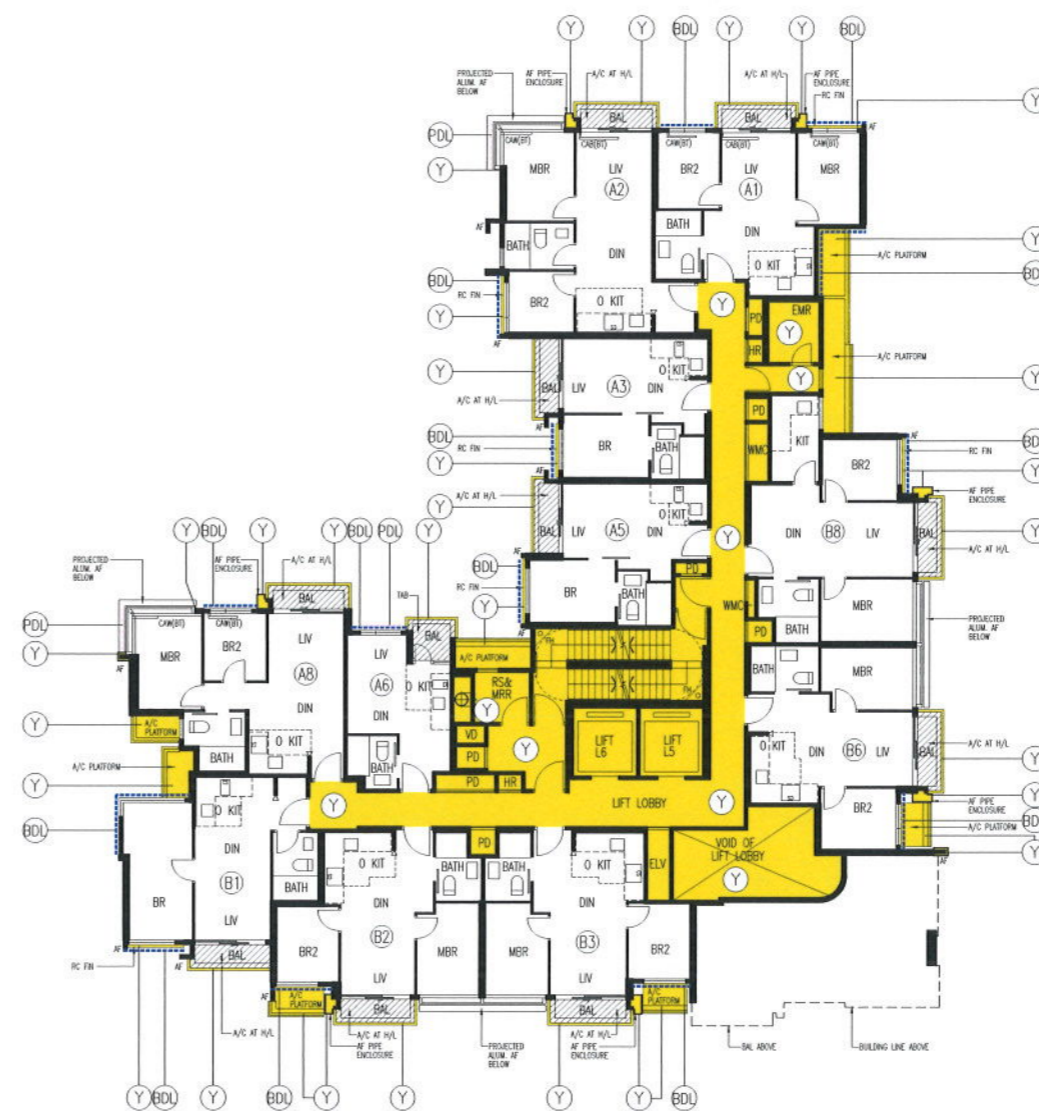


支取

DATE:	21 MARCH 2022	SCALE:	1 : 250
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SCENIC TOWER 3 G/F FLOOR PLAN



SCENIC TOWER 3 1/F FLOOR PLAN

# LEGEND:

 RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B

 BALCONY

 AUTO-CLOSE DOOR (VIOLET DOTTED LINE)

 NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)


 FRR FULL HEIGHT WALL

ASP WITH ENHANCEMENTS : ACOUSTIC SLIDING PANEL WITH ENHANCEMENTS

CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)

CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)

TAB: TYPICAL ACOUSTIC BALCONY

 FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)

 SOLID WALL

CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.



WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

FOR IDENTIFICATION  
PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS



18th Floor, 14 Tai Koo Wan Road, Tai Koo Shing, Hong Kong  
T: 852-2803 9888 F: 852-2513 1728 www.wongtung.com

PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: SCENIC TOWER 3  
G/F AND 1/F FLOOR PLAN (PHASE 2B)

DRAWING NO.  
DMC-032(2b)

REV. NO.  
(01)

DATE: 13 APRIL 2022

SCALE: 1 : 250



SCENIC TOWER 3  
2/F-15/F FLOOR PLAN  
(4/F, 13/F & 14/F OMITTED)

LEGEND:

- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITH PHASE 2B
- Y YELLOW
- BAL BALCONY
- BAL HATCHED BLACK
- NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)
- BDL BDL
- FRR FULL HEIGHT WALL
- CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)
- CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)
- TAB: TYPICAL ACOUSTIC BALCONY
- PDL FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)

I hereby certify the accuracy of this plan.

Wong Min Hon

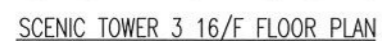
WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

FOR IDENTIFICATION  
PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS  
**WT**  
18th Floor, 14 Taikeo Wan Road, Taikeo Shing, HongKong  
T 852-2803 9888 F 852-2513 1728 www.wongtung.com

PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.  
TITLE: SCENIC TOWER 3  
2/F-15/F FLOOR PLAN (PHASE 2B)

DRAWING NO. DMC-033(2b)	REV. NO. (01)
DATE: 13 APRIL 2022	SCALE: 1 : 250



- CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.

12/12/20

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS



18th Floor, 14 Taikoo Wan Road, Taikoo Shing, HongKong  
T 852-2803 9888 F 852-2513 1728 [www.wongtung.com](http://www.wongtung.com)

PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

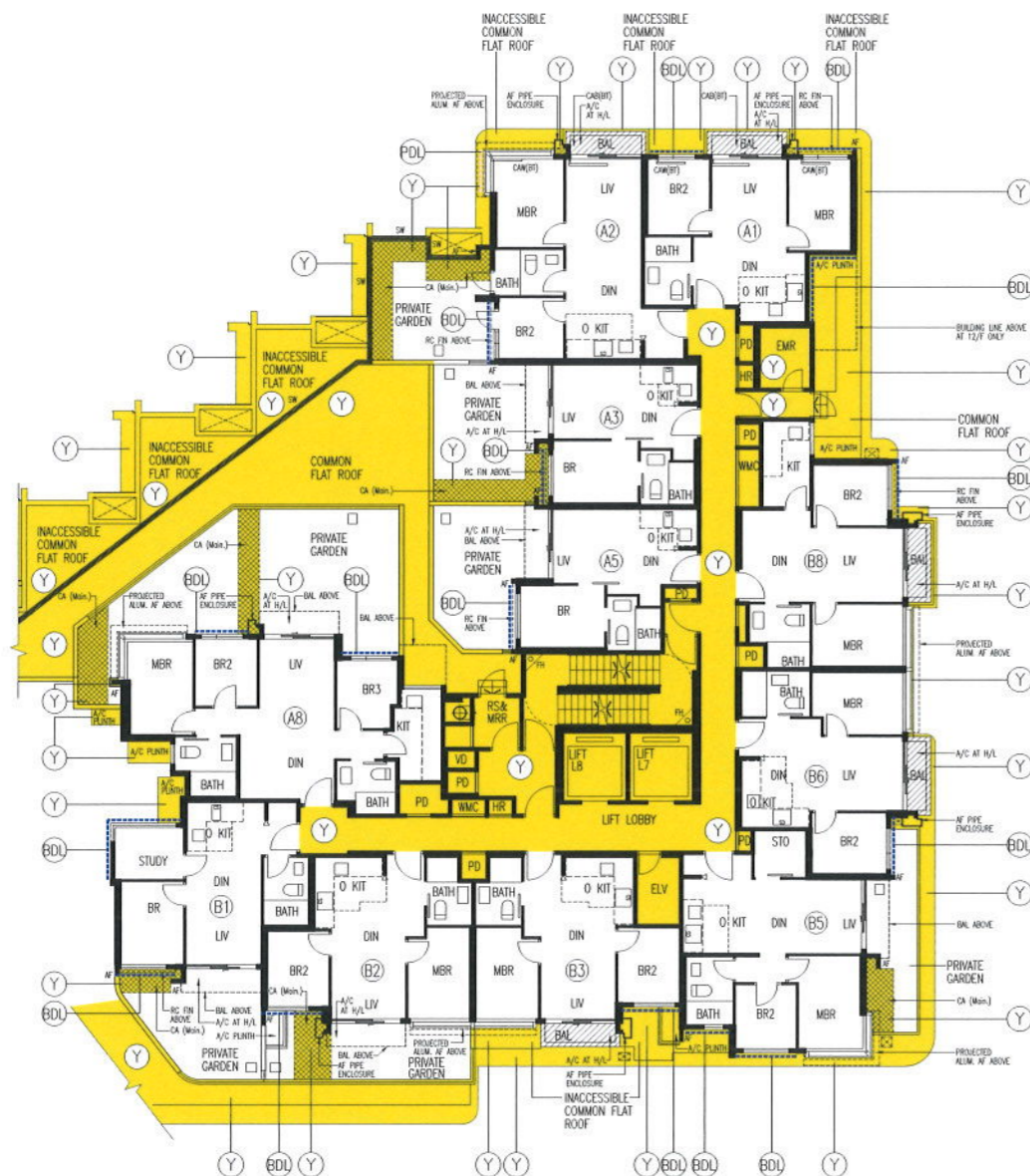
TITLE: SCENIC TOWER 3  
16/F & ROOF FLOOR PLAN (PHASE 2B)

DMC-034(2b)

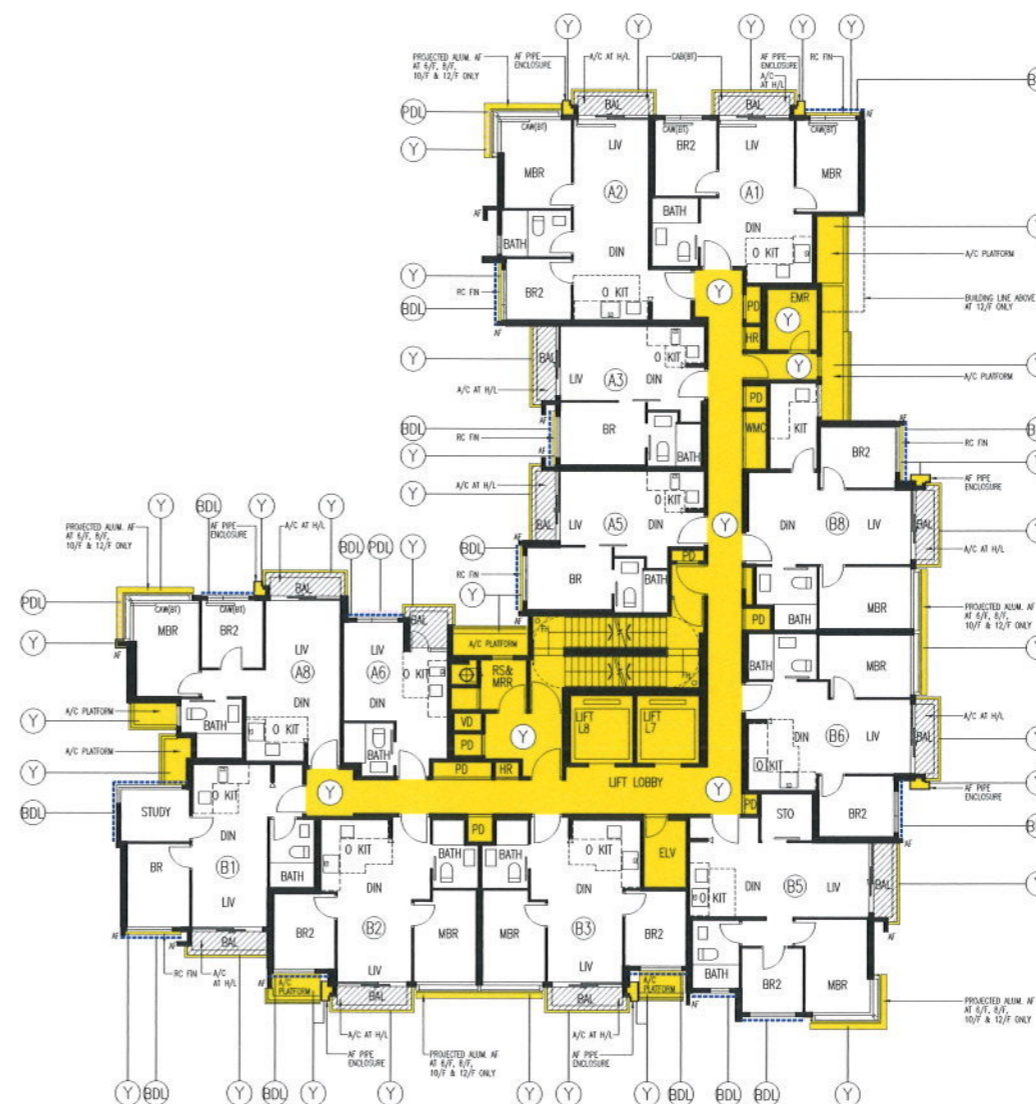
(01)

DATE: 13 APRIL 2022

SCALE:	1 : 250
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SCENIC TOWER 5 3/F FLOOR PLAN



SCENIC TOWER 5 5/F-12/F FLOOR PLAN

LEGEND:

RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B

BALCONY

NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)

FRR FULL HEIGHT WALL

COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)

COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)

FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)

SOLID WALL

CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

FOR IDENTIFICATION  
PURPOSE ONLY

WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS



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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

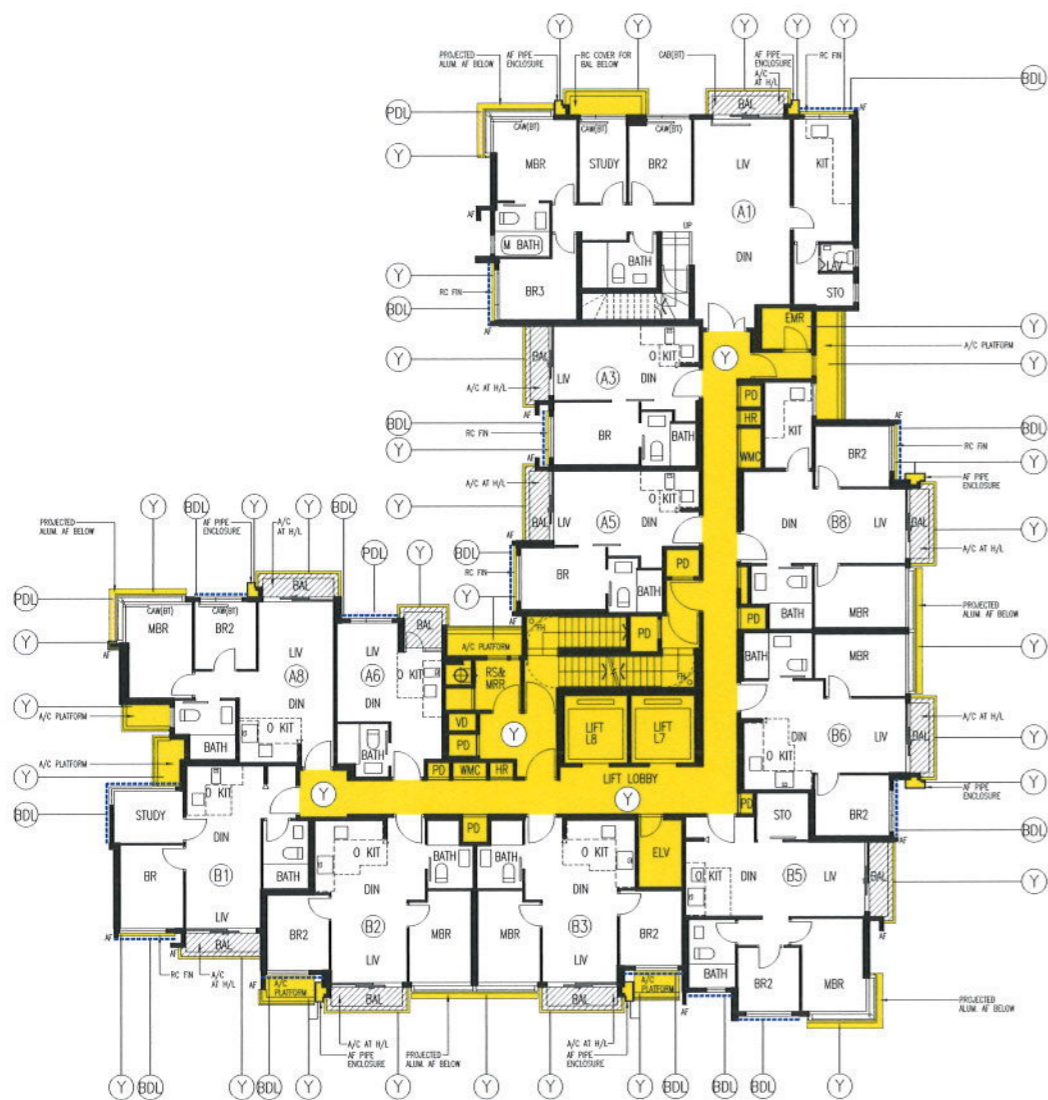
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3/F-12/F FLOOR PLAN (PHASE 2B)

DRAWING NO.  
DMC-036(2b)

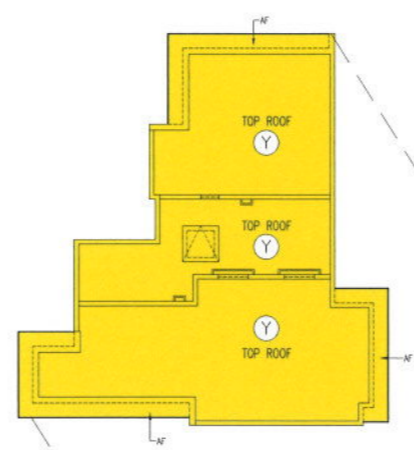
REV. NO.  
(01)

DATE: 13 APRIL 2022

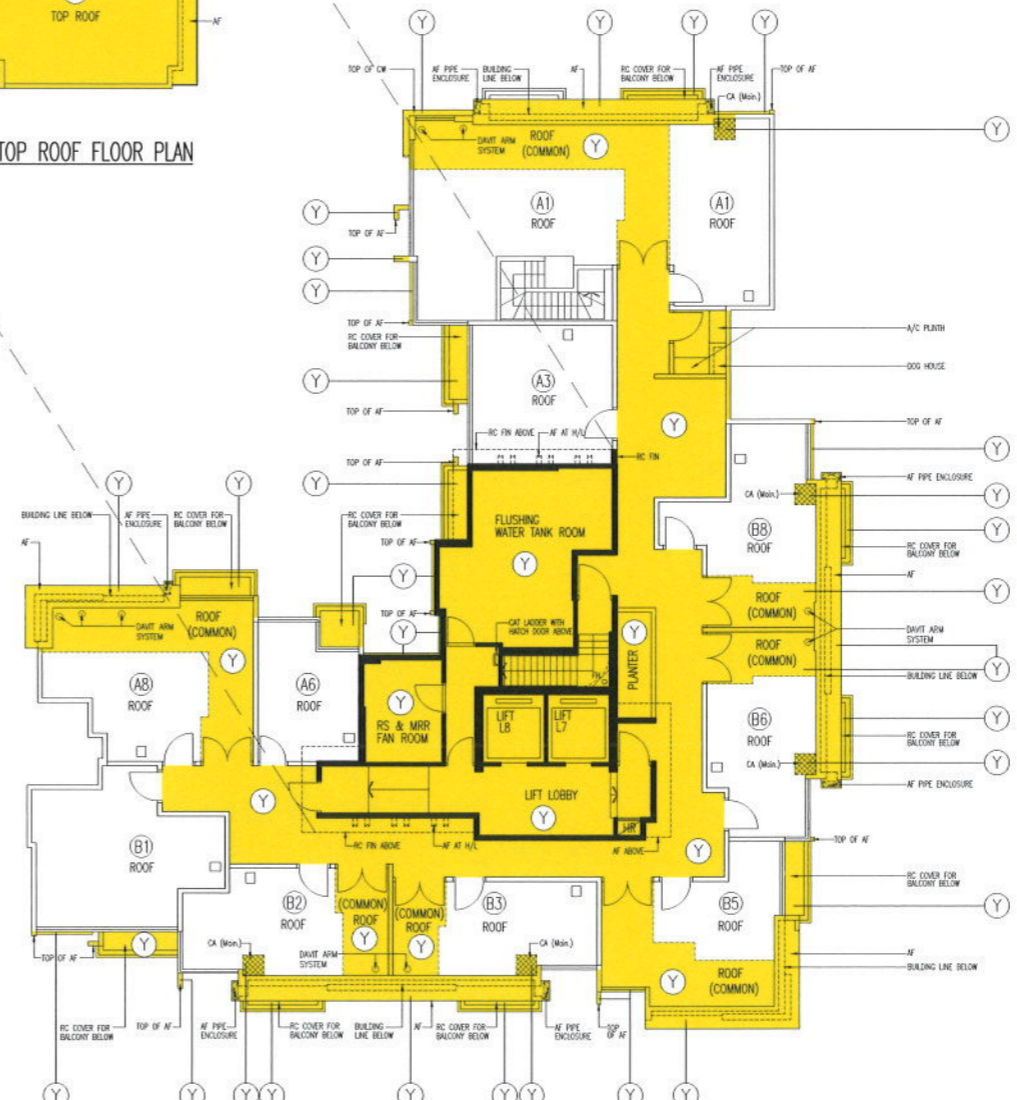
SCALE: 1 : 250



SCENIC TOWER 5 15/F FLOOR PLAN



SCENIC TOWER 5 TOP ROOF FLOOR PLAN



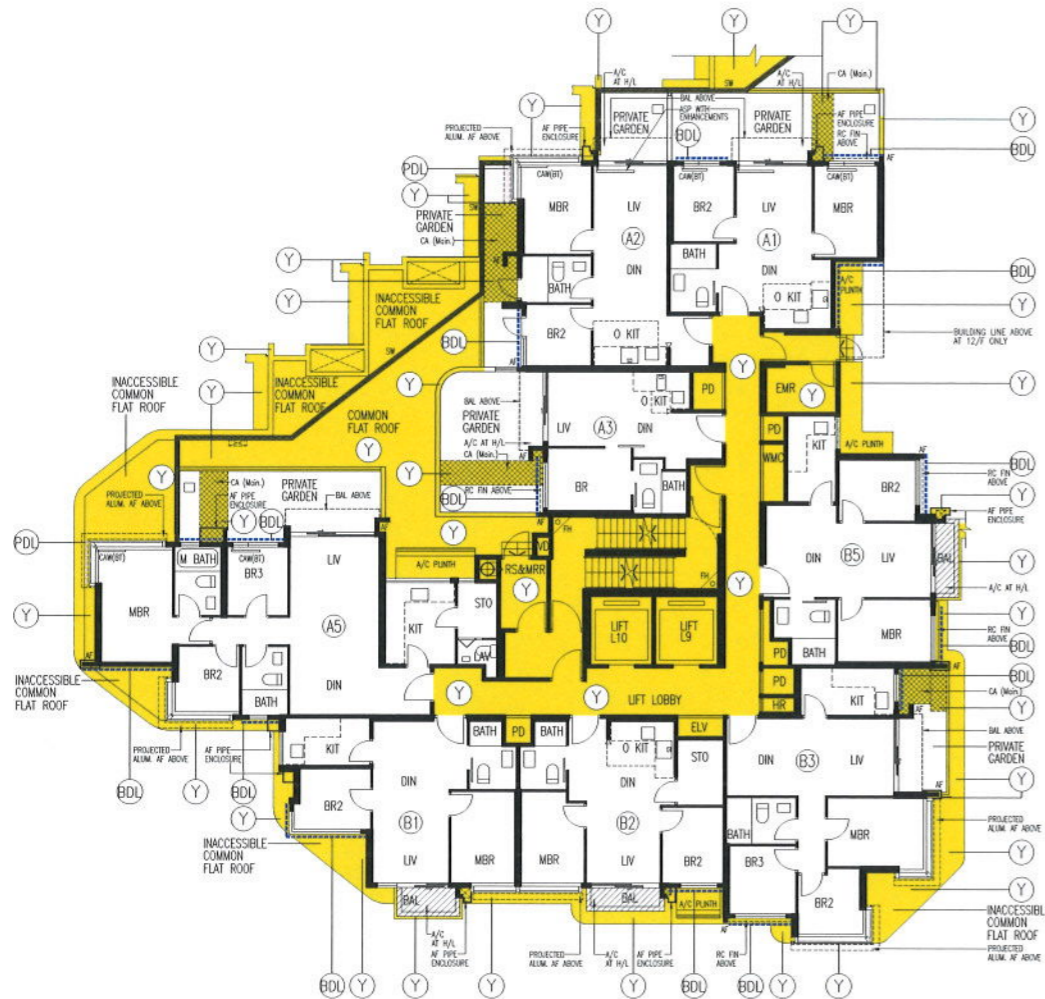
SCENIC TOWER 5 ROOF FLOOR PLAN

- LEGEND:**
- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B
  - BAL BALCONY
  - BDL NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)
  - FRR FRR FULL HEIGHT WALL
  - CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)
  - CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)
  - PDL FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)
  - CA (Main.): Common Area (Maintenance)

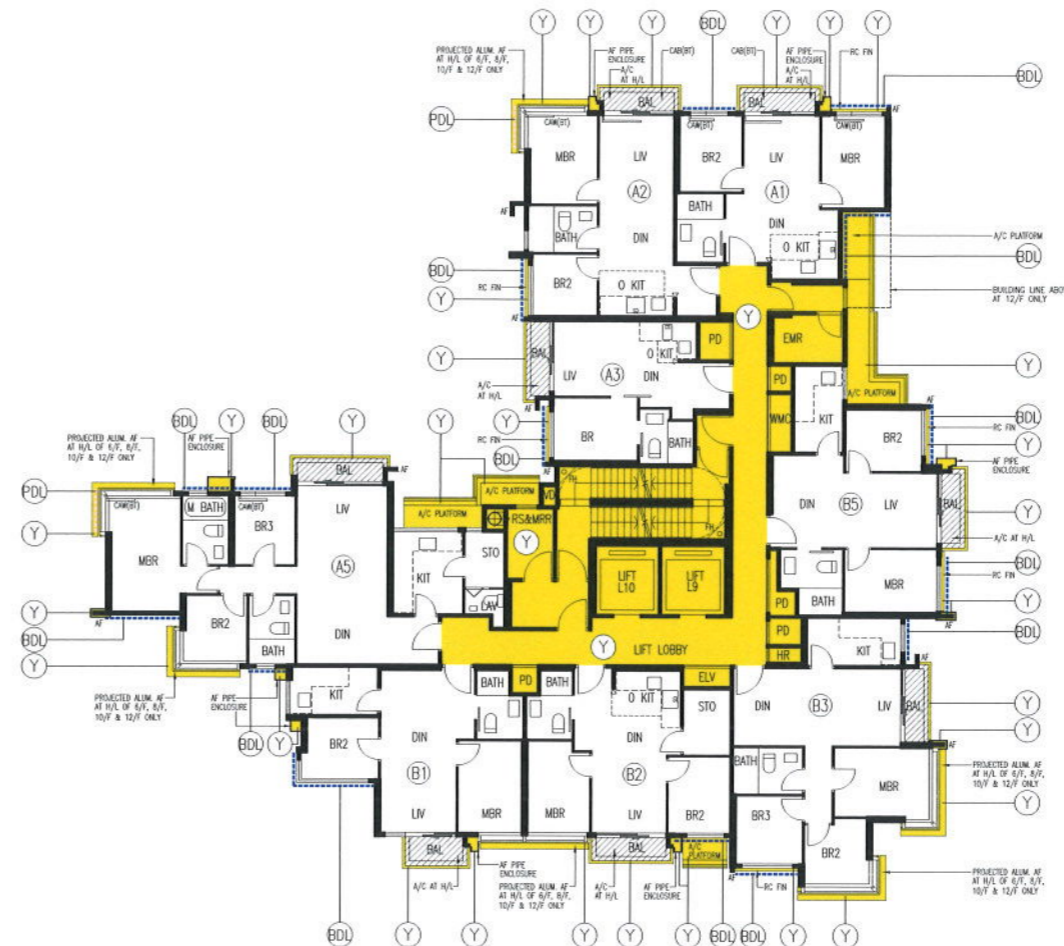
I hereby certify the accuracy of this plan.

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Registered Architect Authorized Person

FOR IDENTIFICATION PURPOSE ONLY	<p><b>WONG TUNG &amp; PARTNERS LIMITED</b> ARCHITECTS &amp; PLANNERS</p> <p><b>WT</b></p> <p>18th Floor, 14 Tak Kee Wan Road, Tai Koo Shing, Hong Kong T: 852-2803 9888 F: 852-2513 1728 www.wongtung.com</p>	<p>PROJECT: PROPOSED COMPREHENSIVE DEVELOPMENT AT PAK SHEK KOK, T.P.T.L. 244, TAI PO, N.T.</p> <p>TITLE: SCENIC TOWER 5 15/F AND ROOF FLOOR PLAN (PHASE 2B)</p>	<p>DATE: 13 APRIL 2022</p>	<p>SCALE: 1 : 250</p>



SCENIC TOWER 6 3/F FLOOR PLAN



SCENIC TOWER 6 5/F-12/F FLOOR PLAN

LEGEND:

- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B
- BAL BALCONY
- NON-STRUCTURAL PREFABRICATED EXTERNAL WALL (BLUE DOTTED LINE)
- BDL FRR FULL HEIGHT WALL
- CAW(BT) COMBINED ACOUSTIC WINDOW (BAFFLE TYPE)
- CAB(BT) COMBINED ACOUSTIC BALCONY (BAFFLE TYPE)
- ASP WITH ENHANCEMENTS : ACOUSTIC SLIDING PANEL WITH ENHANCEMENTS
- PDL FIXED GLAZING WITH MAINTENANCE WINDOW (NOT FOR VENTILATION) (PINK DOTTED LINE)
- SOLID WALL
- CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.

Wong Min Hon

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Registered Architect Authorized Person

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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

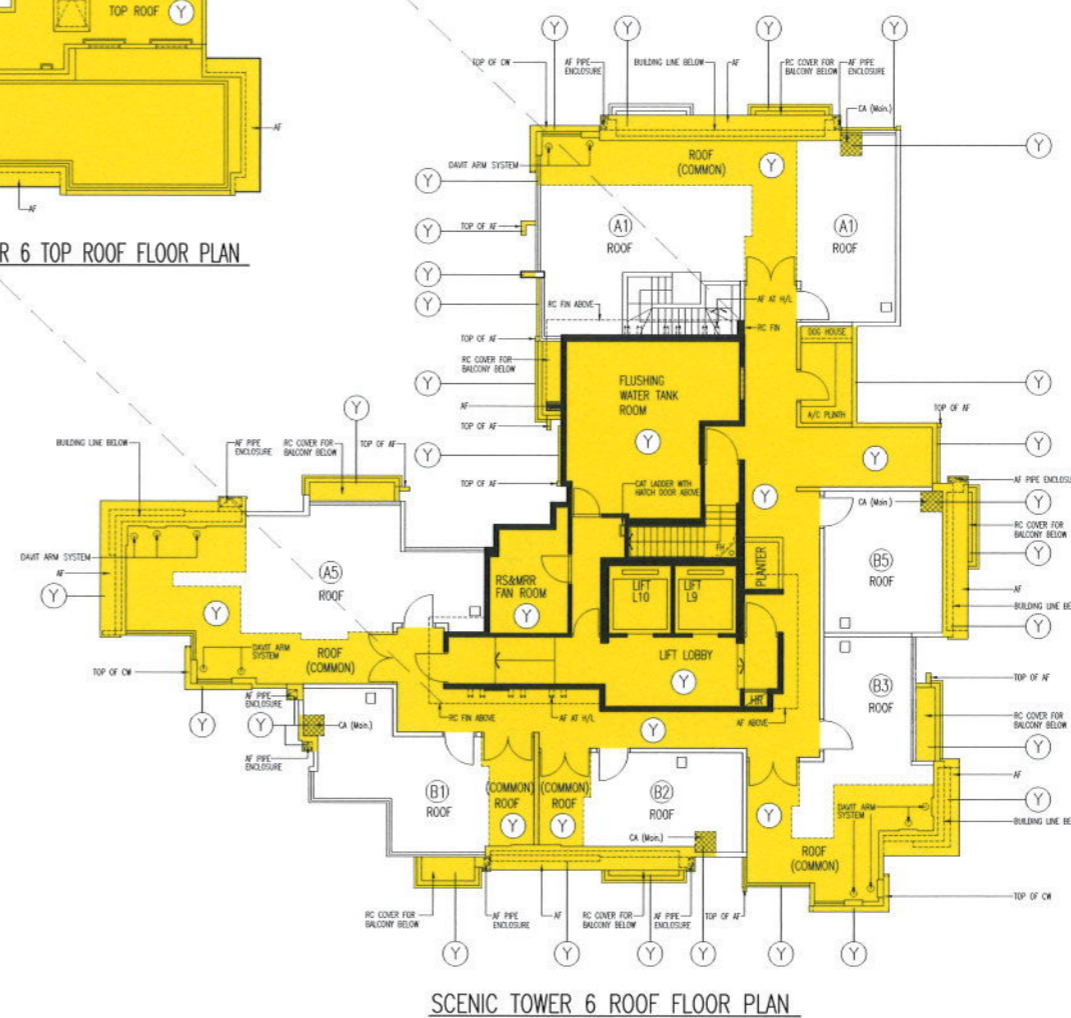
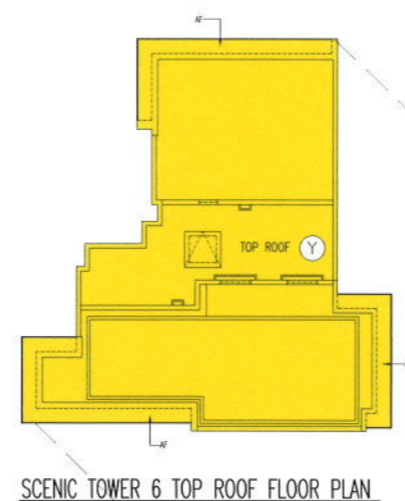
TITLE: SCENIC TOWER 6  
3/F-12/F FLOOR PLAN (PHASE 2B)

DRAWING NO.  
DMC-038(2b)

REV. NO.  
(01)

DATE: 13 APRIL 2022

SCALE: 1 : 250



LEGEND:

**Y** RESIDENTIAL COMMON AREAS  
AND FACILITIES WITHIN PHASE 2B

YELLOW

 BALCONY

**DAE**  
**HATCHE**  
**BLACK**

NON-STRUCTURAL  
PREFABRICATED  
EXTERNAL WALL  
(BLUE DOTTED LINE)

▽ FRR FULL HEIGHT WALL

CAW(BT) COMBINED ACOUSTIC  
WINDOW (BAFFLE TYPE)

CAB(BT) COMBINED ACOUSTIC  
BALCONY (BAFFLE TYPE)

(PDL) FIXED GLAZING WITH MAINTENANCE  
 WINDOW (NOT FOR VENTILATION)  
 (PINK DOTTED LINE)

CA (Main.): Common Area (Maintenance)

I hereby certify the accuracy of this plan.

王

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Registered Architect Authorized Person

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**ARCHITECTS & PLANNERS**



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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: SCENIC TOWER 6 15/F  
AND ROOF FLOOR PLAN (PHASE 2B)

DRAWING NO.	DMC-039(2b)
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REV. NO.	(01)
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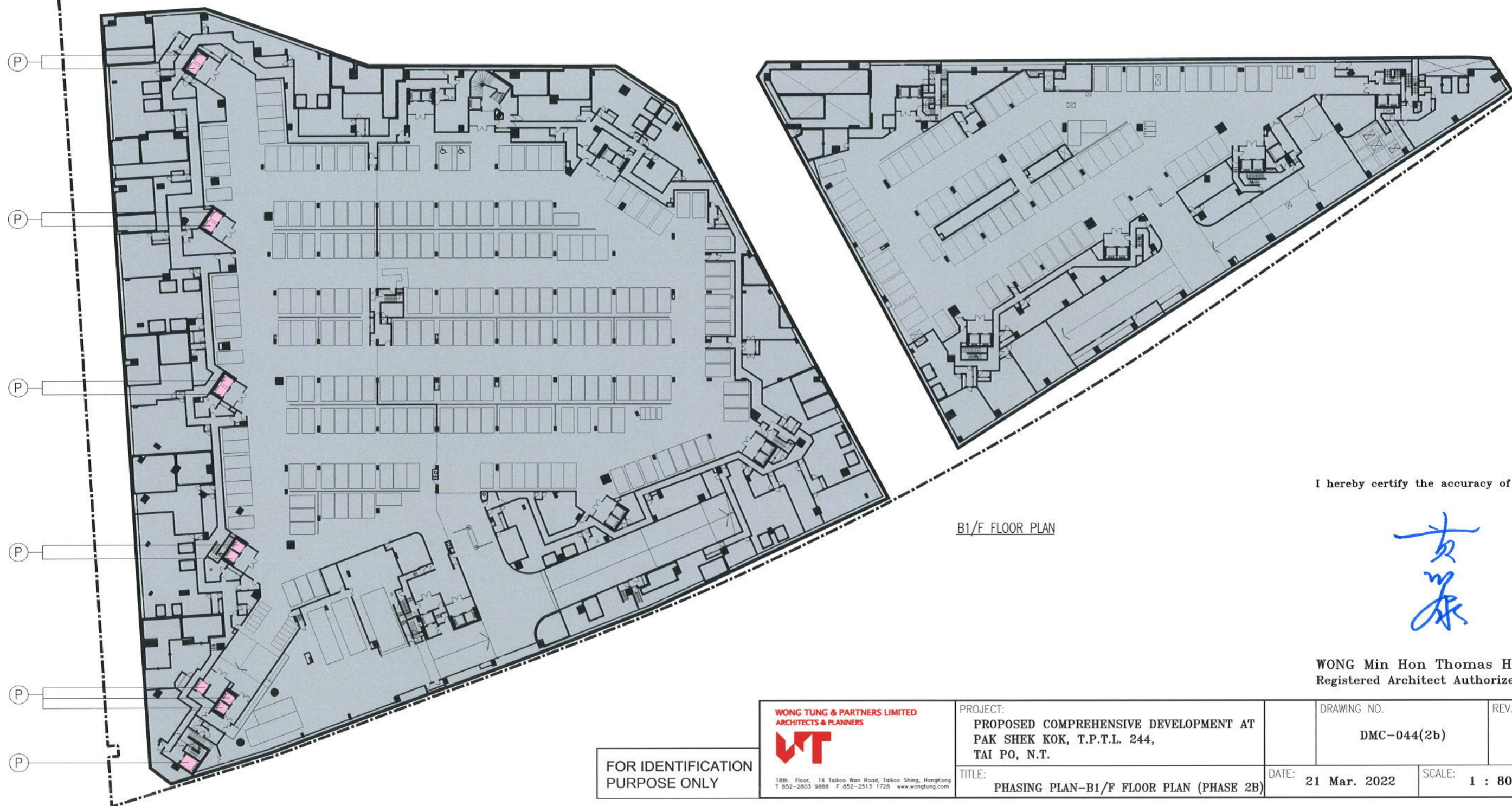
DATE: 13 APRIL 2022

SCALE: 1 : 250



LEGEND:

 PHASE 2B  
PINK



B1/F FLOOR PLAN

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ARCHITECTS & PLANNERS



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PROJECT:

PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE:

PHASING PLAN-B1/F FLOOR PLAN (PHASE 2B)

DRAWING NO.

DMC-044(2b)

REV. NO.

(01)

DATE:

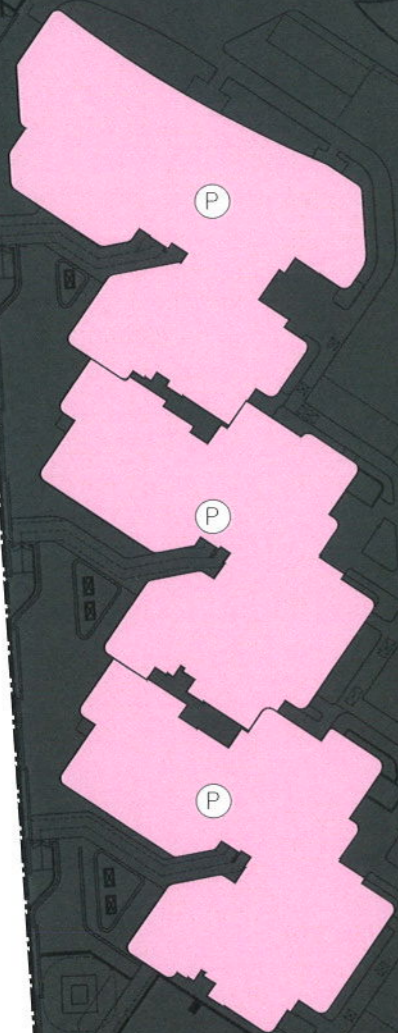
21 Mar. 2022

SCALE:

1 : 800

LEGEND:

 PHASE 2B  
PINK



G/F FLOOR PLAN

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Registered Architect Authorized Person

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ARCHITECTS & PLANNERS



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PROJECT:

PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE:

PHASING PLAN-G/F FLOOR PLAN (PHASE 2B)

DRAWING NO.

DMC-045(2b)

REV. NO.

(01)

DATE:

21 Mar. 2022

SCALE:

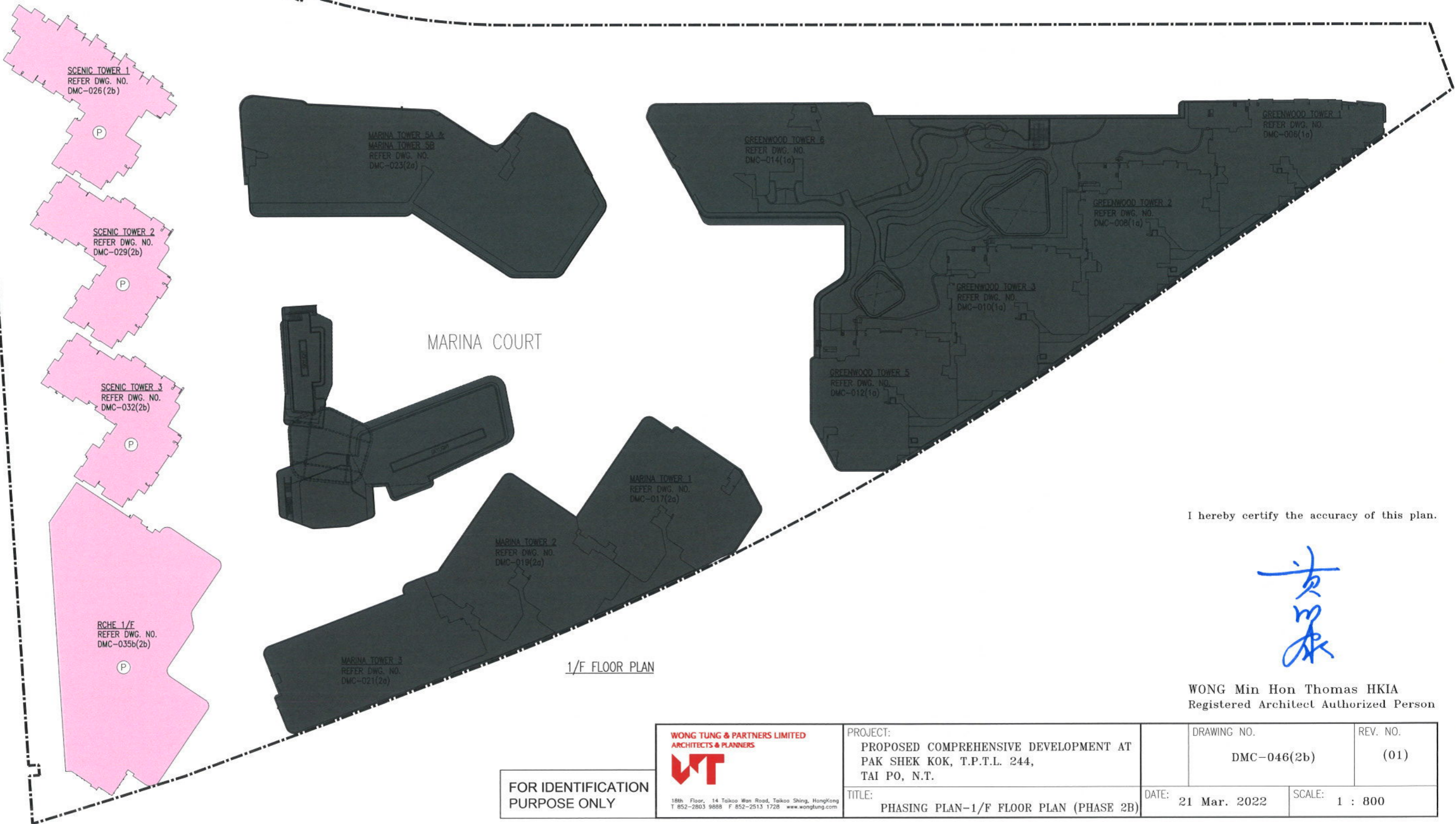
1 : 800

LEGEND:

P

PHASE 2B

PINK



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Registered Architect Authorized Person

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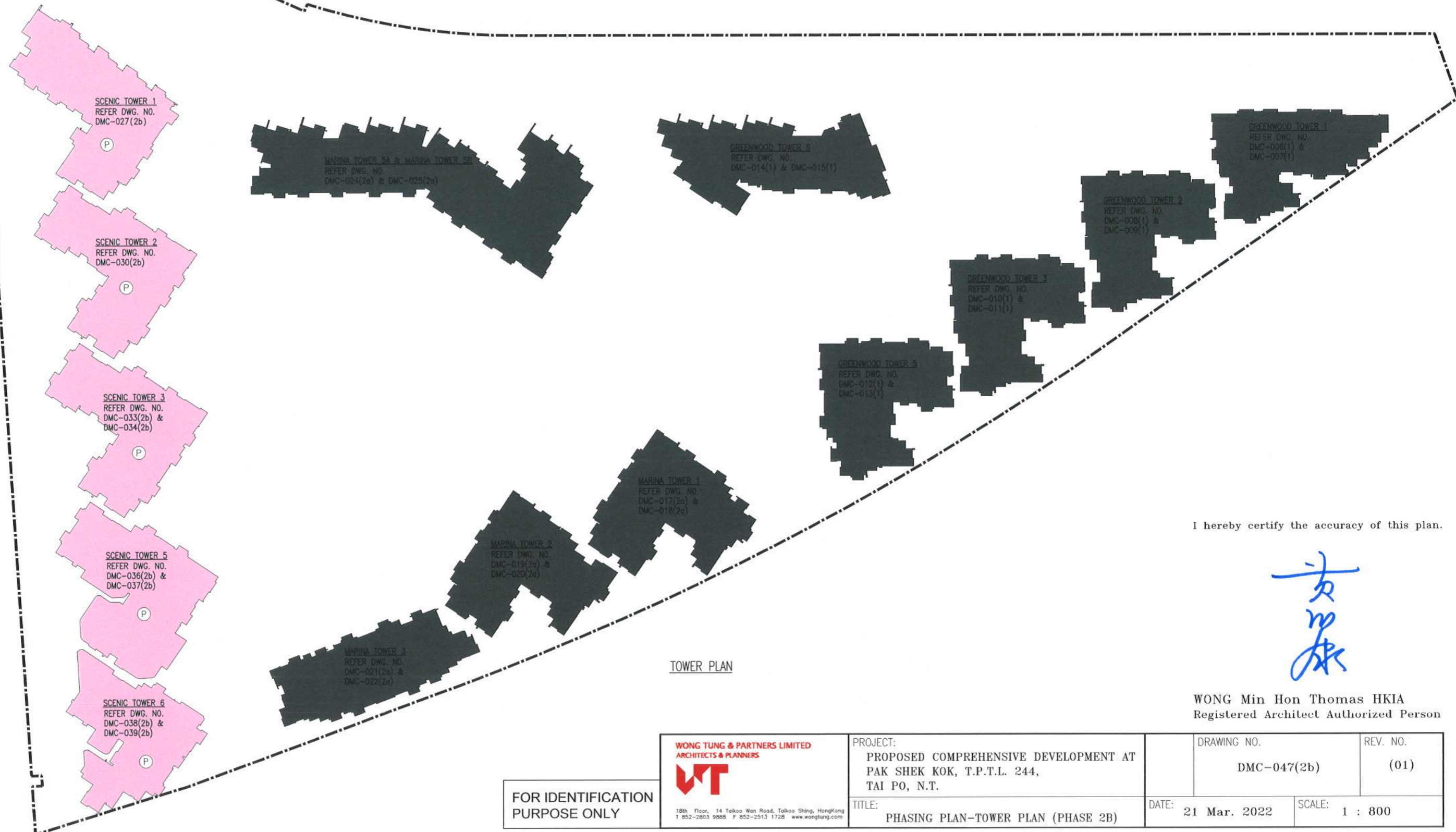
LEGEND:

 PHASE 2B  
PINK

REMARK:

THE LAYOUT OF THE RESIDENTIAL TOWER OF THE DEVELOPMENT SHOULD REFER TO THE SPECIFIED DRAWING SHOWN IN THE PLAN AND IT IS APPLICABLE TO THE RESIDENTIAL FLOORS ON:

SCENIC TOWER 1: G/F-16/F (4/F, 13/F, 14/F OMITTED)  
SCENIC TOWER 2: G/F-16/F (4/F, 13/F, 14/F OMITTED)  
SCENIC TOWER 3: G/F-16/F (4/F, 13/F, 14/F OMITTED)  
SCENIC TOWER 5: 3/F-15/F (4/F, 13/F, 14/F OMITTED)  
SCENIC TOWER 6: 3/F-15/F (4/F, 13/F, 14/F OMITTED)



I hereby certify the accuracy of this plan.



WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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PURPOSE ONLY

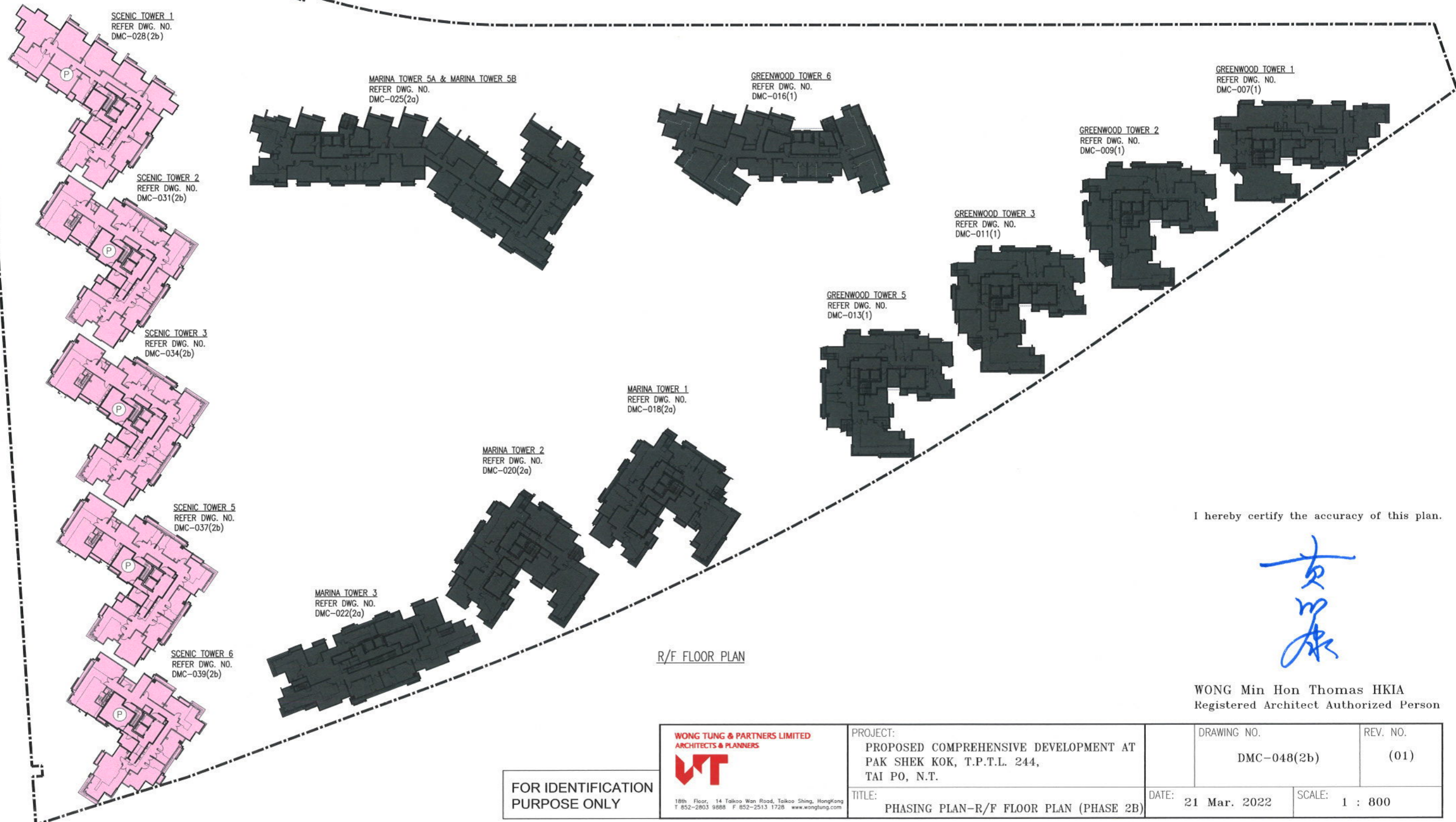
WONG TUNG & PARTNERS LIMITED  
ARCHITECTS & PLANNERS  
  
18th Floor, 14 Tai Kok Wan Road, Tai Kok Shing, Hong Kong  
T 852-2803 9888 F 852-2513 1728 www.wongtung.com

PROJECT: PROPOSED COMPREHENSIVE DEVELOPMENT AT PAK SHEK KOK, T.P.T.L. 244, TAI PO, N.T.	DRAWING NO. DMC-047(2b)		REV. NO. (01)
	DATE: 21 Mar. 2022	SCALE: 1 : 800	

TITLE:  
PHASING PLAN-TOWER PLAN (PHASE 2B)

LEGEND:

 PHASE 2B  
PINK



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Registered Architect Authorized Person

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PURPOSE ONLY

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ARCHITECTS & PLANNERS



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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE:  
PHASING PLAN-R/F FLOOR PLAN (PHASE 2B)

DRAWING NO. DMC-048(2b)	REV. NO. (01)
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DATE: 21 Mar. 2022	SCALE: 1 : 800
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TPTL 224 – DMC

FOR RCHE (2B)			
DWG. NO	TITLE	REV.	DATE
DMC-002(2b)	Overall B1/F Floor Plan (Phase 2B)	03	16 May 2022
DMC-003(2b)	Overall G/F Floor Plan (Phase 2B)	04	19 May 2022
DMC-035(2b)	Government Accommodation within Phase 2B 1/F Floor Plan (Phase 2B)	04	19 May 2022
DMC-035a(2b)	Government Accommodation within Phase 2B 2/F Floor Plan (Phase 2B)	04	19 May 2022
DMC-035c(2b)	Government Accommodation within Phase 2B B1/F Floor Plan (Phase 2B)	02	19 May 2022
DMC-035e(2b)	Government Accommodation within Phase 2B G/F Floor Plan (Phase 2B)	03	19 May 2022



GOVERNMENT ACCOMMODATION WITHIN PHASE 2B 1/F FLOOR PLAN

LEGEND:

- G DEVELOPMENT COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
GREEN
- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
YELLOW
- O GOVERNMENT ACCOMMODATION WITHIN PHASE 2B  
ORANGE

I hereby certify the accuracy of this plan.

*[Handwritten Signature]*

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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PURPOSE ONLY

**WONG TUNG & PARTNERS LIMITED**  
ARCHITECTS & PLANNERS

**WT**

18th Floor, 14 Taikoo Wan Road, Taikoo Shing, HongKong  
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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: GOVERNMENT ACCOMMODATION  
WITHIN PHASE 2B 1/F FLOOR PLAN

DRAWING NO. DMC-035(2b)	REV. NO. (04)
DATE: 19 MAY 2022	SCALE: 1 : 200



GOVERNMENT ACCOMMODATION WITHIN PHASE 2B 2/F FLOOR PLAN

I hereby certify the accuracy of this plan.

*Wong Min Hon*

LEGEND:

- G DEVELOPMENT COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
GREEN
- Y RESIDENTIAL COMMON AREAS AND FACILITIES WITHIN PHASE 2B  
YELLOW
- O GOVERNMENT ACCOMMODATION WITHIN PHASE 2B  
ORANGE

WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

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PURPOSE ONLY

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ARCHITECTS & PLANNERS



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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.


TITLE: GOVERNMENT ACCOMMODATION  
WITHIN PHASE 2B 2/F FLOOR PLAN

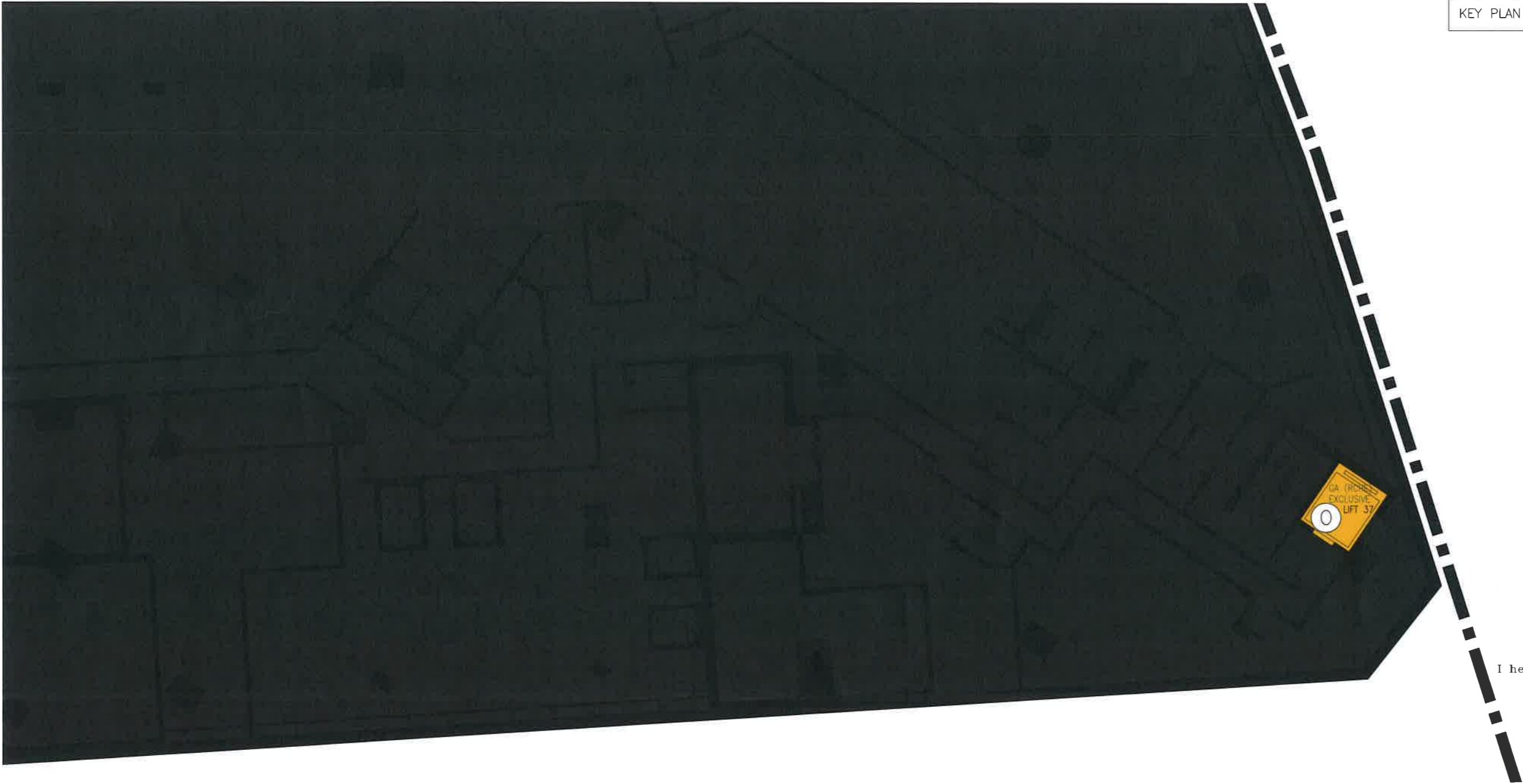
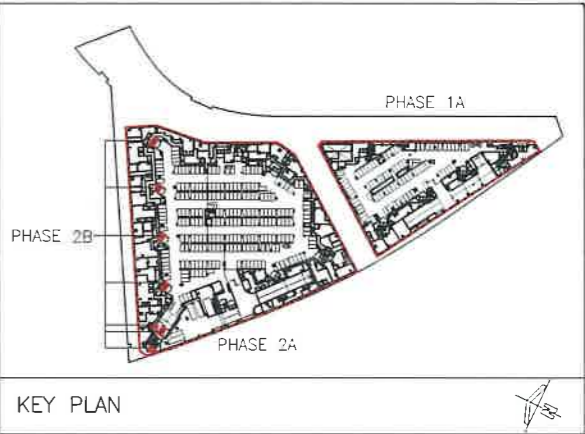
DRAWING NO.  
DMC-035a(2b)

REV. NO.  
(04)

DATE: 19 MAY 2022

SCALE: 1 : 200

LEGEND:  
 GOVERNMENT ACCOMMODATION  
WITHIN PHASE 2B  
ORANGE




I hereby certify the accuracy of this plan.




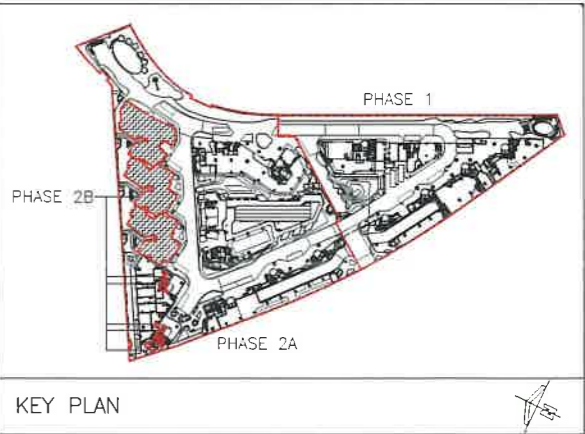
WONG Min Hon Thomas HKIA  
Registered Architect Authorized Person

GOVERNMENT ACCOMMODATION WITHIN PHASE 2B B1/F FLOOR PLAN

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	TITLE: GOVERNMENT ACCOMMODATION WITHIN PHASE 2B B1/F FLOOR PLAN	DATE: 19 MAY 2022	SCALE: 1 : 200	

LEGEND:  
 GOVERNMENT ACCOMMODATION  
WITHIN PHASE 2B



GOVERNMENT ACCOMMODATION WITHIN PHASE 2B G/F FLOOR PLAN

I hereby certify the accuracy of this plan.



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PROJECT:  
PROPOSED COMPREHENSIVE DEVELOPMENT AT  
PAK SHEK KOK, T.P.T.L. 244,  
TAI PO, N.T.

TITLE: GOVERNMENT ACCOMMODATION  
WITHIN PHASE 2B G/F FLOOR PLAN

DRAWING NO.  
DMC-035e(2b)

REV. NO.  
(03)

DATE: 19 MAY 2022

SCALE: 1 : 200